



# City of Phoenix

September 7, 2005

STREET TRANSPORTATION DEPARTMENT

FEMA Depot  
3601 Eisenhower Avenue  
Alexandria, VA 22304

Case No.: 04-09-1319C  
Community: City of Phoenix  
Maricopa County, Arizona  
Community No.: 040051

ATTN: LOMA Depot

RE: LETTER OF MAP REVISION – BASED ON FILL (LOMR-F)  
RIVERBEND III, LOCATED AT N/E/C OF 55<sup>TH</sup> AVE & BROADWAY ROAD  
PHOENIX, AZ 85043  
FIRM PANEL 04013C2120F, JULY 19, 2001.

Please find enclosed a Letter of Map Revision-Based on Fill (LOMR-F) for Riverbend III.  
The following items are included with this application.

**ITEMS:**

- 1- Check for \$700.
- 2- Copy of Approved CLOMR-F, Dated August 13, 2004 (Tab 1).
- 3- Property Information Form (Tab 4).
- 4- Elevation Form (Tab 5).
- 5- Community Acknowledgement Form (Tab 6).
- 5- Annotated copy of FIRM (Tab 3).
- 6- As-Built Grading & Drainage Plan (Tab 11).

If you have any technical questions concerning this project please call Mr. Tom Palmer, M2 Group, Inc., 4854 E. Baseline Rd., Suite 104, Mesa, Arizona 85206, phone number 480-539-7497, fax number 480-324-3600. If you have any other questions, please contact this office at 602-262-4960.

Sincerely,

Hasan Mushtaq, Ph.D., P. E., CFM  
Floodplain Manager

Cc: Mr. Tom Palmer, P.E., M2 Group, Inc.  
Mr. Tim Murphy, P.E., CFM, Flood Control District of Maricopa County (FCDMC)  
Mr. Brian Cosson, CFM, NFIP Coordinator, Arizona Department of Water Resources

**FEMA MT-1  
LOMR-F REQUEST  
for  
RIVERBEND 3**

**Northeast corner of 55<sup>th</sup> Ave. & Broadway Rd.  
Phoenix, Arizona**

*Owner / Developer:*

**DR HORTON HOMES**

7001 N. Scottsdale Rd.  
Scottsdale, AZ 85253

*Applicant:*



**M2 GROUP, INC.**

4854 E. Baseline Rd.  
Suite 104  
Mesa, Arizona 85206

City of Phoenix Tracking Numbers:

Kiva # 03-1439  
SDEV # 0300619

**FEMA MT-1  
LOMR-F REQUEST FOR  
RIVERBEND 3**

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## SUMMARY

Riverbend 3 is a proposed 41 lot, single family subdivision located at the northeast corner of Broadway Rd. and the 55<sup>th</sup> Ave. alignment in Phoenix, AZ. This site is comprised of a portion of the southeast quarter of Section 20, Township 1 North, Range 2 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona. See attached Vicinity Map (Exhibit "A") for a general location of the site. The site is bordered by proposed River Bend I, Unit A (C.O.P. #03-308) and undeveloped agricultural fields on the north, by Broadway Road and various industrial operations on the south, by 55<sup>th</sup> Avenue and proposed River Bend II development (C.O.P. #01-21817) on the west, and by an open area of a mix of desert and agricultural land on the east. The Salt River is located further south beyond the various industrial operations. The existing terrain of the site falls from northeast to southwest with a very gentle slope.

The southeastern portion of this site is located within Flood Zone "AE" as shown on FIRM Map #04013C2120 F, dated July 19, 2001. This is due to the elevation of the flood waters of the Salt River during the 100 year flood which reaches to a level that is within the boundary of the site.

Two (2) of the proposed lots in this subdivision were located within Flood Zone "AE". A CLOMR-F was previously applied for and obtained through FEMA for lots 15 and 16 of RiverBend 3. A copy of the CLOMR-F is included (Tab 1). Since obtaining the CLOMR-F, these lots have been graded in such a way as to be elevated above the base flood elevation as shown on the Elevation Form (Tab 5) and the "As-Built" Grading and Drainage Plan. Lowest lot As-Builts are provided along with signed certification by a Registered Engineer (Tab 5). A LOMR-F is now being requested with the intent that all lots within this subdivision be removed from the Special Flood Hazard Area (SFHA) designation.

Page 1 of 2

Date: August 13, 2004

Case No.: 04-09-1319C

CLOMR-F



# Federal Emergency Management Agency

Washington, D.C. 20472

## CONDITIONAL LETTER OF MAP REVISION BASED ON FILL COMMENT DOCUMENT

COMMUNITY AND MAP PANEL INFORMATION		LEGAL PROPERTY DESCRIPTION
COMMUNITY	MARICOPA COUNTY, ARIZONA (Unincorporated Areas)	Lots 15 and 16, Riverbend III, as shown on the Plat recorded as Document Number 2004-0598620, in Book 688, Page 4, in the Office of the Recorder, Maricopa County, Arizona
	COMMUNITY NO.: 040037	
AFFECTED MAP PANEL	NUMBER: 04013C2120F	
	NAME: MARICOPA COUNTY, ARIZONA AND INCORPORATED AREAS	
DATE: 07/19/2001		
FLOODING SOURCE: CAVE CREEK WASH		APPROXIMATE LATITUDE & LONGITUDE OF PROPERTY: 33.409, -112.173 SOURCE OF LAT & LONG: PRECISION MAPPING STREETS 4.0 DATUM: NAD 83

COMMENT TABLE REGARDING THE PROPOSED PROPERTY (PLEASE NOTE THAT THIS IS NOT A FINAL DETERMINATION. A FINAL DETERMINATION WILL BE MADE UPON RECEIPT OF AS-BUILT INFORMATION REGARDING THIS PROPERTY.)

LOT	BLOCK/SECTION	SUBDIVISION	STREET	OUTCOME WHAT WOULD BE REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NGVD 29)	LOWEST ADJACENT GRADE ELEVATION (NGVD 29)	LOWEST LOT ELEVATION (NGVD 29)
15	—	Riverbend III	—	Property	X (unshaded)	1011.4 feet	—	1011.8 feet

**Special Flood Hazard Area (SFHA)** - The SFHA is an area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood).

ADDITIONAL CONSIDERATIONS (Please refer to the appropriate section on Attachment 1 for the additional considerations listed below.)

DETERMINATION TABLE (CONTINUED)  
CONDITIONAL LOMR-F DETERMINATION

This document provides the Federal Emergency Management Agency's comment regarding a request for a Conditional Letter of Map Revision based on Fill for the property described above. Using the information submitted and the effective National Flood Insurance Program (NFIP) map, we have determined that the proposed property(ies) would not be located in the SFHA, an area inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood) if built as proposed. Our final determination will be made upon receipt of a copy of this document, as-built elevations, and a completed Community Acknowledgement form. Proper completion of this form certifies the subject property is reasonably safe from flooding in accordance with Part 65.5(a)(4) of our regulations. Further guidance on determining if the subject property is reasonably safe from flooding may be found in FEMA Technical Bulletin 10-01. A copy of this bulletin can be obtained by calling the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or from our web site at <http://www.fema.gov/ml/tb1001.pdf>. This document is not a final determination; it only provides our comment on the proposed project in relation to the SFHA shown on the effective NFIP map.

This comment document is based on the flood data presently available. The enclosed documents provide additional information regarding this request. If you have any questions about this document, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, 3601 Eisenhower Avenue, Suite 600, Alexandria, VA 22304-8439.

Doug Bellomo, P.E., CFM, Acting Chief  
Hazard Identification Section, Mitigation Division  
Emergency Preparedness and Response Directorate

Version 1.3.3

1029299.1CLOMR-F-ML096601319



Federal Emergency Management Agency  
Washington, D.C. 20472

**CONDITIONAL LETTER OF MAP REVISION BASED ON FILL  
COMMENT DOCUMENT**  
ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

**DETERMINATION TABLE (CONTINUED)**

LOT	BLOCK/ SECTION	SUBDIVISION	STREET	OUTCOME WHAT WOULD BE REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NGVD 29)	LOWEST ADJACENT GRADE ELEVATION (NGVD 29)	LOWEST LOT ELEVATION (NGVD 29)
16	—	Riverbend III	—	Property	X (unshaded)	1011.4 feet	—	1011.7 feet

**CONDITIONAL LOMR-F DETERMINATION (This Additional Consideration applies to the preceding 2 Properties.)**

Comments regarding this conditional request are based on the flood data presently available. Our final determination will be made upon receipt of this Comment Document, certified as-built elevations and/or certified as-built survey. Since this request is for a Conditional Letter of Map Revision based on Fill, we will also require the applicable processing fee, and the "Community Acknowledgement" form. Please note that additional items may be required before a final as-built determination is issued.

This letter does not relieve Federal agencies of the need to comply with Executive Order 11988 on Floodplain Management in carrying out their responsibilities and providing Federally undertaken, financed, or assisted construction and improvements, or in their regulating or licensing activities.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Assistance Center toll free at (877) 338-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, 3601 Eisenhower Avenue, Suite 600, Alexandria, VA 22304-6439.

Doug Bellomo, P.E., GFM, Acting Chief  
Hazard Identification Section, Mitigation Division  
Emergency Preparedness and Response Directorate



# Federal Emergency Management Agency

Washington, D.C. 20472

August 13, 2004

MR. R. FULTON BROCK  
CHAIRMAN, MARICOPA COUNTY  
BOARD OF SUPERVISORS  
301 WEST JEFFERSON, 10TH FLOOR  
PHOENIX, AZ 85003-0000

CASE NO.: 04-09-1319C  
COMMUNITY: MARICOPA COUNTY, ARIZONA  
(UNINCORPORATED AREAS)  
COMMUNITY NO.: 040037

DEAR MR. BROCK:

This is in reference to a request that the Federal Emergency Management Agency (FEMA) determine if the property described in the enclosed document is located within an identified Special Flood Hazard Area, the area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood), on the effective National Flood Insurance Program (NFIP) map. Using the information submitted and the effective NFIP map, our determination is shown on the attached Conditional Letter of Map Revision based on Fill (CLOMR-F) Comment Document. This comment document provides additional information regarding the effective NFIP map, the legal description of the property and our comments regarding this proposed project.

Additional documents are enclosed which provide information regarding the subject property and CLOMR-Fs. Please see the List of Enclosures below to determine which documents are enclosed. Other attachments specific to this request may be included as referenced in the Determination/Comment document. If you have any questions about this letter or any of the enclosures, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, 3601 Eisenhower Avenue, Suite 600, Alexandria, VA 22304-6439.

Sincerely,

A handwritten signature in black ink, appearing to read "Doug Bellomo".

Doug Bellomo, P.E., CFM, Acting Chief  
Hazard Identification Section, Mitigation Division  
Emergency Preparedness and Response Directorate

LIST OF ENCLOSURES:  
CLOMR-F COMMENT DOCUMENT

cc: Mr. Hasan Mushtag



# Federal Emergency Management Agency

Washington, D.C. 20472

## ADDITIONAL INFORMATION REGARDING DENIALS OF REQUESTS FOR CONDITIONAL LETTERS OF MAP AMENDMENT AND CONDITIONAL LETTERS OF MAP REVISION BASED ON FILL

When making determinations on requests for Conditional Letters of Map Amendment (CLOMAs) and Conditional Letters of Map Revision based on the placement of fill (CLOMR-Fs), the Federal Emergency Management Agency (FEMA) bases its determination on the flood hazard information available at the time of the determination. Requesters should be aware that flood conditions may change or new information may be generated that would supersede FEMA's determination. In such cases, the community will be informed by letter.

Requesters also should be aware that FEMA's conditional denial of a request to remove a property (parcel of land or structure) from the Special Flood Hazard Area (SFHA) means FEMA has determined the property will continue to be subject to inundation by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood). As mentioned earlier, this determination is based on the flood hazard information available at the time. If more detailed property or flood hazard information becomes available, and the requester believes the information will support removing the property from the SFHA, the requester may submit the information to FEMA at any time and request that FEMA reconsider its determination. In areas where base flood elevations (BFEs) shown on the effective National Flood Insurance Program (NFIP) map were used for the original determination, new BFEs cannot be used until they have been proposed and finalized through the community appeal process. The appeal process is described in detail in Part 67 of the NFIP regulations.

If FEMA denies a request for a CLOMA because the elevation of the lowest adjacent grade (the lowest ground touching a structure) would be below the BFE and that elevation is raised to or above the BFE by the placement of fill material, the requester may submit the appropriate supporting data and request a LOMR-F in accordance with Paragraph 65.5(a)(4) of the NFIP regulations. In this circumstance, if both the elevation of the lowest ground touching the structure *and* the elevation of the lowest floor (including basement/crawl space) are at or above the BFE, FEMA will issue a LOMR-F to remove the structure from the SFHA. If fill material is used to elevate the lowest ground touching the structure and the lowest floor (including basement/crawl space) to or above the BFE, the requester also must submit a completed copy of Form 4, "Community Acknowledgment of Requests Involving Fill," from the MT-1 application/certification forms package that must be used for all LOMR-F requests. The application/certification forms package maybe downloaded directly from our website at [http://www/fema.gov/mit/tsd/HM\\_mnpchg.htm](http://www/fema.gov/mit/tsd/HM_mnpchg.htm), or copies maybe obtained by calling our Map Assistance Center, toll free, at 1-877-FEMA MAP (1-877-336-2627).

The NFIP regulations provide a requester with a period of 90 days from the date of a denial letter to submit data and request that FEMA reconsider its determination without repayment of review and processing fees. Data submitted after 90 days, or data which show that a project has been significantly altered in design or scope other than as necessary to respond to findings made in FEMA's original determination, are subject to all submittal/payment procedures.

Effective September 1, 2002, FEMA revised the fee schedule for reviewing and processing requests for conditional and final modifications to published flood information and maps, thereby establishing flat review and processing fees for most types of requests. Effective September 1, 2002, FEMA modified that fee schedule. All new requests will be processed under the current fee schedule.

There is no review and processing fee for a LOMA request. The review and processing fees for requests for CLOMAs, CLOMR-Fs, and LOMR-Fs are shown below.

Single-lot/single-structure CLOMAs, CLOMR-Fs	\$500
Single-lot/single-structure LOMR-Fs	\$425
Single-lot/single-structure LOMR-Fs based on as built information (CLOMR-F previously Issued by us)	\$325
Multiple-lot/multiple-structure CLOMAs	\$700
Multiple-lot/multiple-structure CLOMR-Fs and LOMR-Fs	\$800
Multiple-lot/multiple-structure LOMR-Fs based on as built information (CLOMR-F previously issued by us)	\$700

The review and processing fee must be received before FEMA can begin processing a request. Payment of the fee shall be made in the form of a check or money order, made payable in U.S. funds to the National Flood Insurance Program, or by credit card. The payment must be forwarded to the following address:

Federal Emergency Management Agency  
Fee-Charge System Administrator  
P.O. Box 3173  
Merrifield, VA 22116-3173

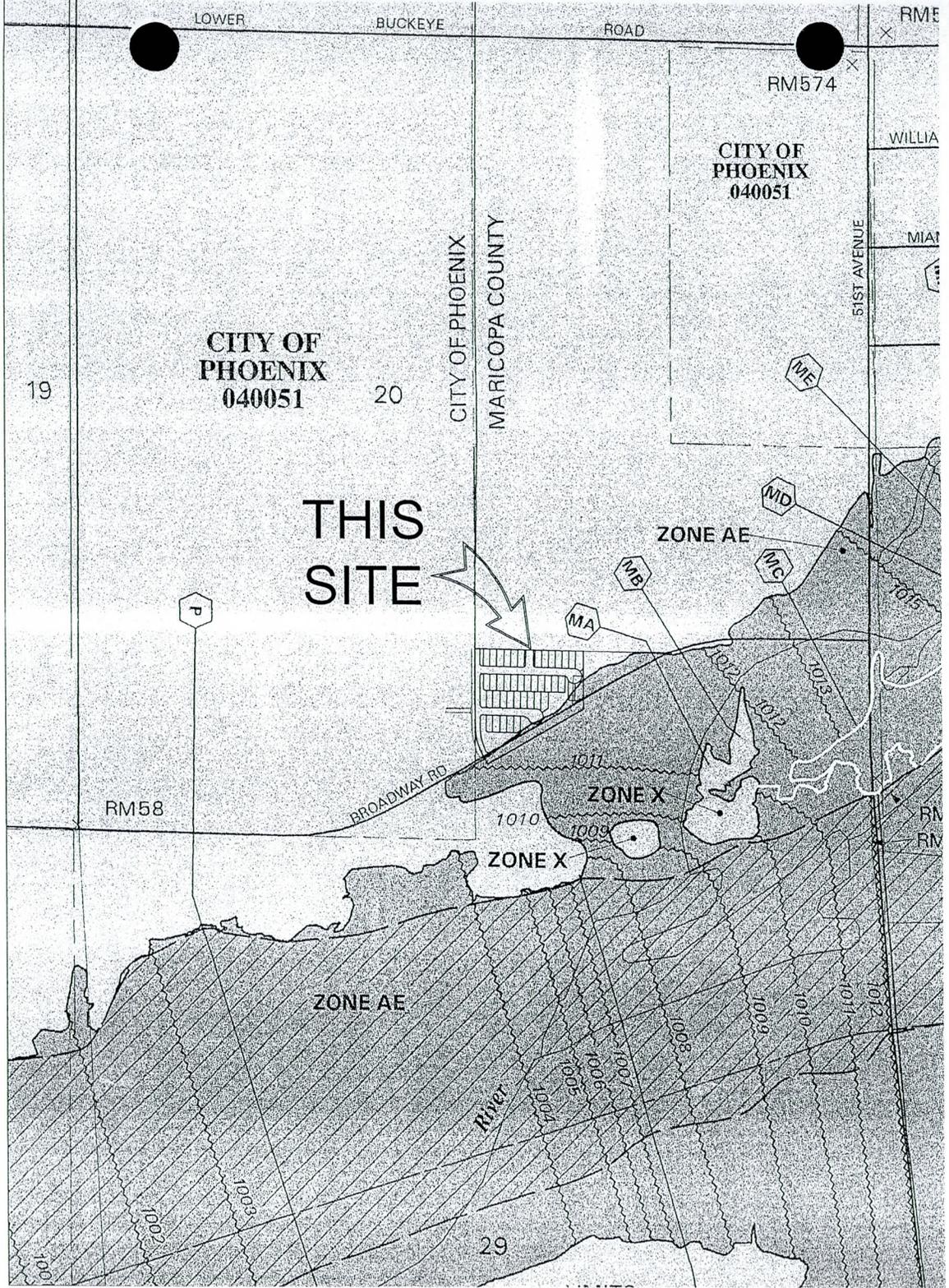




# VICINITY MAP

N.T.S.





**NATIONAL FLOOD INSURANCE PROGRAM**

**FIRM**  
**FLOOD INSURANCE RATE MAP**

MARICOPA COUNTY,  
 ARIZONA AND  
 INCORPORATED AREAS

**PANEL 2120 OF 4350**  
 (SEE MAP INDEX FOR PANELS NOT PRINTED)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
MARICOPA COUNTY, UNINCORPORATED AREAS	040037	2120	F
PHOENIX, CITY OF	040051	2120	F

**MAP NUMBER**  
**04013C2120 F**

**MAP REVISED:**  
**JULY 19, 2001**



Federal Emergency Management Agency



FEDERAL EMERGENCY MANAGEMENT AGENCY  
PROPERTY INFORMATION FORM

O.M.B. NO. 3067-0147  
Expires September 30, 2005

PAPERWORK BURDEN DISCLOSURE NOTICE

Public reporting burden for this form is estimated to average 1.63 hours per response. The burden estimate includes the time for reviewing instructions, searching existing data sources, gathering and maintaining the needed data, and completing, reviewing, and submitting the form. You are not required to respond to this collection of information unless a valid OMB control number appears in the upper right corner of this form. Send comments regarding the accuracy of the burden estimate and any suggestions for reducing this burden to: Information Collections Management, Federal Emergency Management Agency, 500 C Street, SW, Washington DC 20472, Paperwork Reduction Project (3067-0147). Submission of the form is required to obtain or retain benefits under the National Flood Insurance Program. **Please do not send your completed survey to the above address.**

This form may be completed by the property owner, property owner's agent, licensed land surveyor, or registered professional engineer to support a request for a Letter of Map Amendment (LOMA), Conditional Letter of Map Amendment (CLOMA), Letter of Map Revision Based on Fill (LOMR-F), or Conditional Letter of Map Revision Based on Fill (CLOMR-F) for existing or proposed, single or multiple lots/structures. Please check the item below that describes your request:

<input type="checkbox"/> LOMA	A letter from FEMA stating that an existing structure or parcel of land that has not been elevated by fill (natural grade) would not be inundated by the base flood.
<input type="checkbox"/> CLOMA	A letter from FEMA stating that a proposed structure that is not to be elevated by fill (natural grade) would not be inundated by the base flood if built as proposed.
<input checked="" type="checkbox"/> LOMR-F	A letter from FEMA stating that an <b>existing</b> structure or parcel of land that has been <b>elevated by fill</b> would not be inundated by the base flood.
<input type="checkbox"/> CLOMR-F	A letter from FEMA stating that a parcel of land or <b>proposed</b> structure that will be <b>elevated by fill</b> would not be inundated by the base flood if fill is placed on the parcel as proposed or the structure is built as proposed.

Fill is defined as material from any source placed to raise the ground to or above the Base Flood Elevation (BFE). The common construction practice of removing unsuitable existing material (topsoil) and backfilling with select structural material is not considered the placement of fill if the practice does not alter the existing (natural grade) elevation, which is at or above the BFE. **Fill that is placed before the date of the first National Flood Insurance Program (NFIP) map showing the area in a Special Flood Hazard Area (SFHA) is considered natural grade.**

Has fill been placed on your property?  Yes  No      If yes, when was fill placed?      12 / 04  
month/year

Will fill be placed on your property?  Yes  No      If yes, when will fill be placed?      /  
month/year

- Street Address of the Property (if request is for multiple structures, please attach additional sheet):  
NORTHEAST CORNER OF 55TH AVE & BROADWAY RD.
- Legal description of Property (Lot, Block, Subdivision) (if a street address cannot be provided):  
Lots #15 & #16 of River Bend III as recorded in Book 660, Page 19, Maricopa County Recorder
- Are you requesting that the SFHA designation be removed from (check one):
  - the entire legally recorded property?
  - a portion of land within the bounds of the property (a certified metes and bounds description and map of the area to be removed, certified by a licensed land surveyor or registered professional engineer, are required)?
  - structures on the property? What are the dates of construction?
- Is this request for a (check one):
  - single structure
  - single lot
  - multiple structures (How many structures are involved in your request? List the number:      )
  - multiple lots (How many lots are involved in your request? List the number: 2 )

In addition to this form (MT-1 Form 1), ALL requests must include the following:

- Copy of the Plat Map for the property (with recordation data and stamp of the Recorder's Office)  
OR
- Copy of the property Deed (with recordation data and stamp of the Recorder's Office), accompanied by a tax assessor's map or other certified map showing the surveyed location of the property relative to local streets and watercourses
- Copy of the effective FIRM panel and/or Flood Boundary and Floodway Map (FBFM) (if applicable) on which the property location has been accurately plotted (property inadvertently located in the NFIP regulatory floodway will require Section B of MT-1 Form 3)
- Form 2 – Elevation Form. If an Elevation Certificate has already been completed for this property, it may be submitted in addition to Form 2.

Please include a map scale and North arrow on all maps submitted.

For LOMR-Fs and CLOMR-Fs, the following must be submitted in addition to the items listed above:

- Form 3 – Community Acknowledgment Form

Processing Fee (see instructions for appropriate mailing address; or, visit [http://www.fema.gov/fhm/frm\\_fees.shtml](http://www.fema.gov/fhm/frm_fees.shtml) for the most current fee schedule)

Revised fee schedules are published periodically, but no more than once annually, as noted in the Federal Register. Please note: single/multiple lot(s)/structure(s) LOMAs are fee exempt. The current review and processing fees are listed below:

Check the fee that applies to your request:

- \$325 (single lot/structure LOMR-F following a CLOMR-F)
- \$425 (single lot/structure LOMR-F)
- \$500 (single lot/structure CLOMA or CLOMR-F)
- \$700 (multiple lot/structure LOMR-F following a CLOMR-F, or multiple lot/structure CLOMA)
- \$800 (multiple lot/structure LOMR-F or CLOMR-F)

Please submit the Payment Information Form for remittance of applicable fees. Please make your check or money order payable to: National Flood Insurance Program.

All documents submitted in support of this request are correct to the best of my knowledge. I understand that any false statement may be punishable by fine or imprisonment under Title 18 of the United States Code, Section 1001.

Applicant's Name: TOM PALMER  
Please Print or Type

Company: M2 GROUP, INC.

Mailing Address: 4854 E. BASELINE RD., SUITE 104  
MEGA, AZ 85206

Daytime Telephone No.: (480) 324-3700

E-Mail Address: tpalmer@m2groupinc.com  
(optional)

Fax No.: (480) 324-3600

Date 4/6/2005

  
Signature of Applicant (required)

If you have any questions concerning FEMA policy, or the NFIP in general, please contact the FEMA Map Assistance Center toll free at 1-877-FEMA MAP (1-877-336-2627), or visit the Flood Hazard Mapping website at <http://www.fema.gov/fhm/>.



FEDERAL EMERGENCY MANAGEMENT AGENCY  
ELEVATION FORM

O.M.B. NO. 3067-0147  
Expires September 30, 2005

PAPERWORK BURDEN DISCLOSURE NOTICE

Public reporting burden for this form is estimated to average 1 hour per response. The burden estimate includes the time for reviewing instructions, searching existing data sources, gathering and maintaining the needed data, and completing, reviewing, and submitting the form. You are not required to respond to this collection of information unless a valid OMB control number appears in the upper right corner of this form. Send comments regarding the accuracy of the burden estimate and any suggestions for reducing this burden to: Information Collections Management, Federal Emergency Management Agency, 500 C Street, SW, Washington DC 20472, Paperwork Reduction Project (3067-0147). Submission of the form is required to obtain or retain benefits under the National Flood Insurance Program. **Please do not send your completed survey to the above address.**

This form must be completed for requests and must be completed and signed by a registered professional engineer or licensed land surveyor. A FEMA National Flood Insurance Program (NFIP) Elevation Certificate may be submitted in addition to this form for single structure requests.

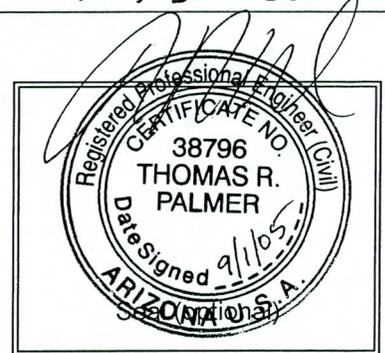
For requests to remove a structure on natural grade OR on engineered fill from the Special Flood Hazard Area (SFHA), submit the lowest adjacent grade (the lowest ground touching the structure), including an attached deck or garage. For requests to remove an entire parcel of land from the SFHA, provide the lowest lot elevation; or, if the request involves an area described by metes and bounds, provide the lowest elevation within the metes and bounds description.

- NFIP Community Number: 040051 Property Name or Address: RIVERBEND III - LOTS 15 + 16
- Are the elevations listed below based on  existing or  proposed conditions? (Check one)
- What is the elevation datum? 1008.32 If any of the elevations listed below were computed using a datum different than the datum used for the effective Flood Insurance Rate Map (FIRM) (e.g., NGVD 29 or NAVD 88), what was the conversion factor?  
CITY OF PHOENIX DATUM (NGVD 29) Local Elevation +/- ft. = FIRM Datum
- For the existing or proposed structures listed below, what are the types of construction? (check all that apply)  
 crawl space  slab on grade  basement/enclosure  other (explain)
- Has FEMA identified this area as subject to land subsidence or uplift? (see instructions)  Yes  No  
If yes, what is the date of the current releveling? / (month/year)

Lot Number	Block Number	Lowest Lot Elevation	Lowest Adjacent Grade To Structure	Base Flood Elevation	For FEMA Use Only
15		1011.70		1011.5	
16		1011.60		1011.5	

This certification is to be signed and sealed by a licensed land surveyor, registered professional engineer, or architect authorized by law to certify elevation information. All documents submitted in support of this request are correct to the best of my knowledge. I understand that any false statement may be punishable by fine or imprisonment under Title 18 of the United States Code, Section 1001.

Certifier's Name: <u>THOMAS R. PALMER</u>	License No.: <u>38796</u>	Expiration Date: <u>3/31/06</u>
Company Name: <u>M2 GROUP INC.</u>	Telephone No.: <u>(480)-324-3700</u>	Fax No.: <u>(480)-324-3600</u>
Signature:	Date: <u>9/1/05</u>	



COE & VAN LOO CONSULTING ENGINEERS 550 N. 12TH STREET PHOENIX, AZ. 85014		PAD CERTIFICATIONS PROJECT: RIVERBEND III BENCH MARK: INTERSECTION OF 55TH AVE. BROADWAY RD. ELEVATION: 1008.32	
LOT NUMBER	DESIGN ELEVATION	AS-BUILT ELEVATION	ELEVATION DIFFERENCE
1	12.3	12.3	0.0
2	12.5	12.5	0.0
3	12.6	12.6	0.0
4	12.7	12.8	0.1
5	12.4	12.5	0.1
6	13.4	13.4	0.0
7	14.0	14.0	0.0
8	13.9	13.9	0.0
9	13.7	13.8	0.1
10	13.6	13.7	0.1
11	13.6	13.6	0.0
12	13.7	13.7	0.0
13	13.8	13.8	0.0
14	13.9	14.0	0.1
15	12.4	12.4	0.0
16	12.4	12.5	0.1
17	13.7	13.7	0.0
18	13.8	13.8	0.0
19	13.9	14.0	0.1
20	14.1	14.1	0.0
21	14.2	14.2	0.0
22	14.3	14.3	0.0
23	14.4	14.4	0.0
24	14.4	14.4	0.0
25	14.3	14.3	0.0
26	14.2	14.2	0.0
27	14.1	14.1	0.0
28	14.0	14.0	0.0
29	12.7	12.7	0.0
30	12.8	12.8	0.0
31	12.9	12.9	0.0
32	13.0	13.0	0.0
33	13.1	13.1	0.0
34	13.1	13.1	0.0
35	13.3	13.3	0.0
36	13.3	13.3	0.0
37	13.3	13.3	0.0
38	13.3	13.3	0.0
39	13.3	13.3	0.0
40	13.3	13.4	0.1
41	13.3	13.3	0.0
15	LOWEST LOT ELEV.= 11.70 ( AS-BUILT)		
16	LOWEST LOT ELEV.= 11.60 ( AS-BUILT)		





FEDERAL EMERGENCY MANAGEMENT AGENCY  
**COMMUNITY ACKNOWLEDGMENT FORM**

O.M.B. NO. 3067-0147  
 Expires September 30, 2005

**PAPERWORK BURDEN DISCLOSURE NOTICE**

Public reporting burden for this form is estimated to average 0.88 hour per response. The burden estimate includes the time for reviewing instructions, searching existing data sources, gathering and maintaining the needed data, and completing, reviewing, and submitting the form. You are not required to respond to this collection of information unless a valid OMB control number appears in the upper right corner of this form. Send comments regarding the accuracy of the burden estimate and any suggestions for reducing this burden to: Information Collections Management, Federal Emergency Management Agency, 500 C Street, SW, Washington DC 20472, Paperwork Reduction Project (3067-0147). Submission of the form is required to obtain or retain benefits under the National Flood Insurance Program. **Please do not send your completed survey to the above address.**

This form must be completed for requests involving the existing or proposed placement of fill (complete Section A) OR to provide acknowledgment of this request to remove a property from the SFHA which was previously located within the regulatory floodway (complete Section B).

This form must be completed and signed by the official responsible for floodplain management in the community. The community number and the subject property address must appear in the spaces provided below.

Community Number: 040051 Property Name or Address: RIVERBEND 3; NEC 55TH AVE & BROADWAY RD.

A. REQUESTS INVOLVING THE PLACEMENT OF FILL

As the community official responsible for floodplain management, I hereby acknowledge that we have received and reviewed this Letter of Map Revision Based on Fill (LOMR-F) or Conditional LOMR-F request. Based upon the community's review, we find the completed or proposed project meets or is designed to meet all of the community floodplain management requirements, including the requirement that no fill be placed in the regulatory floodway, and that all necessary Federal, State, and local permits have been, or in the case of a Conditional LOMR-F, will be obtained. In addition, we have determined that the land and any existing or proposed structures to be removed from the SFHA are or will be reasonably safe from flooding as defined in 44CFR 65.2(c), and that we have available upon request by FEMA, all analyses and documentation used to make this determination. For LOMR-F requests, we understand that this request is being forwarded to FEMA for a possible map revision.

Community Comments:

Community Official's Name and Title: (Please Print or Type)

Hasan Mushtaq, Ph.D., P.E., CEM

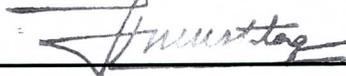
Telephone No.:

602-262-4960

Community Name:

City of Phoenix

Community Official's Signature: (required)



Date:

9/9/05

B. PROPERTY LOCATED WITHIN THE REGULATORY FLOODWAY

As the community official responsible for floodplain management, I hereby acknowledge that we have received and reviewed this request for a LOMA. We understand that this request is being forwarded to FEMA to determine if this property has been inadvertently included in the regulatory floodway. We acknowledge that no fill on this property has been or will be placed within the designated regulatory floodway. We find that the completed or proposed project meets or is designed to meet all of the community floodplain management requirements.

Community Comments:

Community Official's Name and Title: (Please Print or Type)

Telephone No.:

Community Name:

Community Official's Signature (required):

Date:

FEDERAL EMERGENCY MANAGEMENT AGENCY  
PAYMENT INFORMATION FORM

Community Name: \_\_\_\_\_

Project Identifier: \_\_\_\_\_

**THIS FORM MUST BE MAILED, ALONG WITH THE APPROPRIATE FEE, TO THE ADDRESS BELOW OR FAXED TO THE FAX NUMBER BELOW.**

Type of Request:

- MT-1 application }  
 MT-2 application }

FEMA  
Fee Charge System Administrator  
P.O. Box 22787  
Alexandria, VA 22304  
FAX (703) 317-3076

- EDR application }

FEMA Project Library  
3601 Eisenhower Avenue  
Alexandria, VA 22304  
FAX (703) 751-7391

Request No.: \_\_\_\_\_ (if known)

Amount: \_\_\_\_\_

INITIAL FEE\*  FINAL FEE  FEE BALANCE\*\*  MASTER CARD  VISA  CHECK  MONEY ORDER

\*Note: Check only for EDR and/or Alluvial Fan requests (as appropriate).

\*\*Note: Check only if submitting a corrected fee for an ongoing request.

**COMPLETE THIS SECTION ONLY IF PAYING BY CREDIT CARD**

CARD NUMBER

EXP. DATE

<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	—	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	—	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	—	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
1	2	3	4		5	6	7	8		9	10	11	12		13	14	15	16

<input type="text"/>	—	<input type="text"/>
Month		Year

\_\_\_\_\_ Date

\_\_\_\_\_ Signature

NAME (AS IT APPEARS ON CARD): \_\_\_\_\_  
(please print or type)

ADDRESS: \_\_\_\_\_  
(for your credit card receipt—please print or type)

DAYTIME PHONE: \_\_\_\_\_

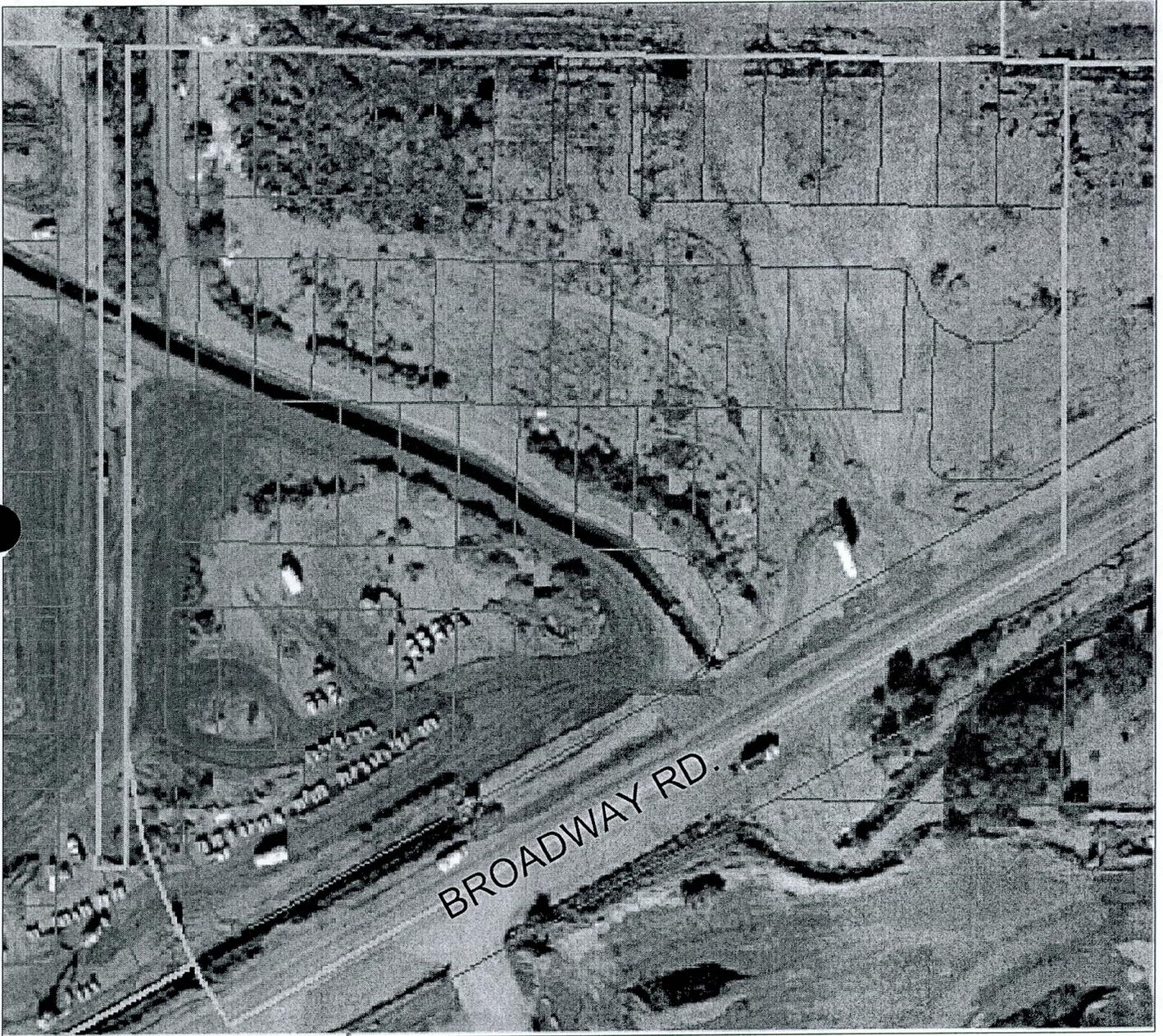


104-59-001H & 104-59-001J





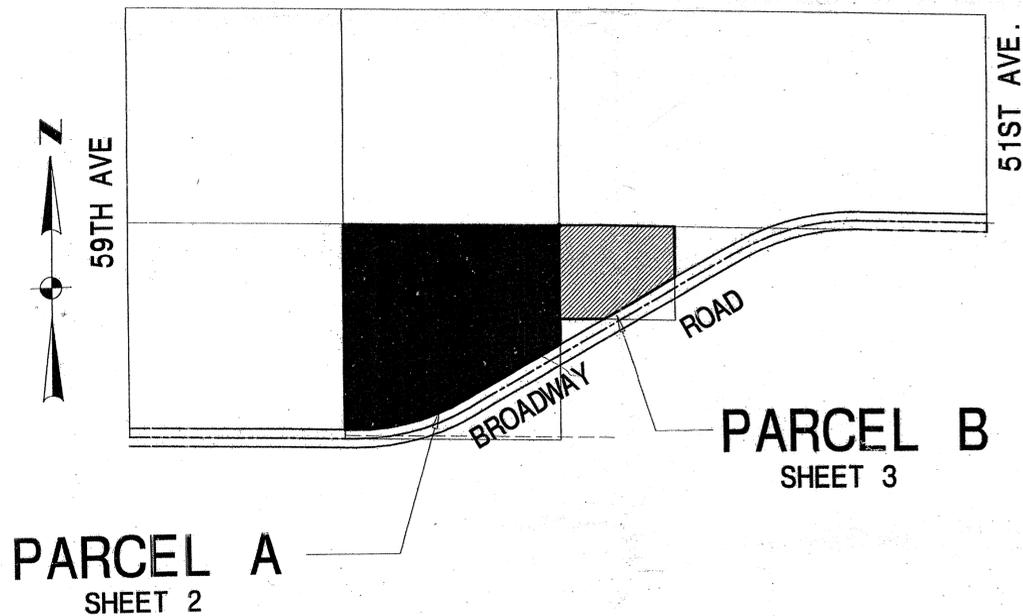
# RIVERBEND 3



AERIAL PHOTOGRAPH



# ALTA/ACSM LAND TITLE SURVEY FOR THE NEWPORT GROUP 23, L.L.C.



**PARCEL A**  
SHEET 2

**PARCEL B**  
SHEET 3

### SURVEYOR'S NOTES

#### PARCEL A

1. THAT PARCEL OF LAND DESCRIBED IN BOOK 115 OF DEEDS, PAGE 274 PERPORTS TO DESCRIBE AN IRRIGATION DITCH RIGHT-OF-WAY WHOSE LOCATION DOES NOT AGREE WITH THE PRESENT DAY LOCATION OF SAME. THIS SURVEY SHOWS THE INTENT OF SAID DEED. THE LOCATION OF THIS RIGHT-OF-WAY IS SUBJECT TO THE REVIEW OF THE SALT RIVER PROJECT AS TO ITS ALIGNMENT AND WIDTH.
2. THE PRESENCE OF AN EXISTING IRRIGATION DITCH AND RIGHT-OF-WAY GENERALLY RUNNING IN AN EAST-WEST LOCATION THROUGH THE CENTER OF THIS PARCEL AND ALONG ITS WESTERLY LINE IS NOT NOTED IN THE SCHEDULE "B" ITEMS OF THE APPROPRIATE TITLE COMMITMENT. IT'S WIDTH AND ALIGNMENT WERE DETERMINED BASED UPON THE LOCATION OF THE EXISTING IRRIGATION DITCH AND ADJACENT MAINTENANCE ROADS. THE LOCATION OF THIS RIGHT-OF-WAY IS SUBJECT TO THE REVIEW OF THE SALT RIVER PROJECT AS TO ITS ALIGNMENT AND WIDTH.

#### PARCEL B

1. THAT PARCEL OF LAND DESCRIBED IN BOOK 115 OF DEEDS, PAGE 274 PERPORTS TO DESCRIBE AN IRRIGATION DITCH RIGHT-OF-WAY WHOSE LOCATION DOES NOT AGREE WITH THE PRESENT DAY LOCATION OF SAME. THIS SURVEY SHOWS THE INTENT OF SAID DEED. ALTHOUGH THE SCHEDULE "B" ITEMS OF THIS COMMITMENT DOES NOT SHOW THIS ENCUMBRANCE UPON THIS PARCEL, THE PRESENT DAY LOCATION ENCUMBERS THE PARCEL. THE LOCATION OF THIS RIGHT-OF-WAY IS SUBJECT TO THE REVIEW OF THE SALT RIVER PROJECT AS TO ITS ALIGNMENT AND WIDTH.
2. THE PRESENCE OF EXISTING POWER POLES ALONG THE NORTH LINE OF THIS PARCEL ARE CONTAINED WITHIN ANY EASEMENT STATED IN SCHEDULE "B" OF THIS COMMITMENT.
3. THE PRESENCE OF AN EXISTING IRRIGATION DITCH AND RIGHT-OF-WAY GENERALLY RUNNING IN AN EAST-WEST LOCATION THROUGH THE CENTER OF THIS PARCEL IS NOT NOTED IN THE SCHEDULE "B" ITEMS OF THE APPROPRIATE TITLE COMMITMENT. IT'S WIDTH AND ALIGNMENT WERE DETERMINED BASED UPON THE LOCATION OF THE EXISTING IRRIGATION DITCH AND ADJACENT MAINTENANCE ROADS. THE LOCATION OF THIS RIGHT-OF-WAY IS SUBJECT TO THE REVIEW OF THE SALT RIVER PROJECT AS TO ITS ALIGNMENT AND WIDTH.
4. THE EASEMENT TO SALT RIVER PROJECT REFERRED TO IN DOCUMENT 85-189276 WAS INTENDED TO PROVIDE FOR A DITCH ALONG THE NORTH BOUNDARY OF THIS SITE. A FIELD INSPECTION OF THE PARCEL SHOWS NO EVIDENCE BEYOND THE EXISTANCE OF A SMALL POORLY MAINTAINED "FIELD" IRRIGATION DITCH HAVING NO POINT OF DELIVERY NOR A DISCHARGE POINT INTO THE EXISTING IRRIGATION PRESENT ON THE WESTERLY LINE OF THIS PARCEL. IT IS THEREFORE NO LONGER POSSIBLE TO OBTAIN THE HISTORICAL LOCATIO OF THIS FACILITY AND IT'S CORRESPONDING EASEMENT.

#### PARCEL A

FIRST AMERICAN TITLE INSURANCE COMPANY

EXHIBIT "A"

COMMITMENT NO. 201-800-1372324

THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 1 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, LYING NORTH OF THE CENTER LINE OF THE HIGHWAY EASEMENT RECORDED AS 88-350033, OF OFFICIAL RECORDS.

EXCEPT ANY PORTION LYING WITHIN THAT PROPERTY CONVEYED TO THE UNITED STATES OF AMERICA IN DEED RECORDED IN BOOK 115 OF DEEDS, PAGE 274, AND

EXCEPT ANY PORTION LYING WITHIN THE DITCH KNOWN AS A LATERAL TO GATE NO. 82 OF THE SALT RIVER VALLEY CANAL AS SET FORTH IN BOOK 115 OF DEEDS, PAGE 274.

SCHEDULE B

COMMITMENT NO. 201-800-1372324

PART TWO:

1. TAXES FOR THE FULL YEAR OF 2001. (THE FIRST HALF IS DUE OCTOBER 1, 2001 AND IS DELINQUENT NOVEMBER 1, 2001. THE SECOND HALF IS DUE MARCH 1, 2002 AND IS DELINQUENT MAY 1, 2002.)

2. THE LIABILITIES AND OBLIGATIONS IMPOSED UPON SAID LAND BY REASON OF:  
(A) INCLUSION THEREOF WITHIN THE BOUNDARIES OF THE SALT RIVER PROJECT AGRICULTURAL IMPROVEMENT AND POWER DISTRICT.

(B) MEMBERSHIP OF THE OWNER THEREOF IN THE SALT RIVER VALLEY WATER USERS' ASSOCIATION, AN ARIZONA CORPORATION.  
(C) THE TERMS OF ANY WATER RIGHT APPLICATION MADE UNDER THE RECLAMATION LAWS OF THE UNITED STATES FOR THE PURPOSE OF OBTAINING WATER RIGHTS FOR SAID LAND (ALL ASSESSMENTS DUE AND PAYABLE ARE PAID).

3. RESERVATIONS CONTAINED IN THE PATENT FROM THE UNITED STATES OF AMERICA, READING AS FOLLOWS:

SUBJECT TO ANY VESTED AND ACCRUED WATER RIGHTS FOR MINING, AGRICULTURAL, MANUFACTURING, OR OTHER PURPOSES, AND RIGHTS TO DITCHES AND RESERVOIRS USED IN CONNECTION WITH SUCH WATER RIGHTS AS MAY BE RECOGNIZED AND ACKNOWLEDGED BY THE LOCAL CUSTOMS, LAWS AND DECISIONS OF COURTS, AND ALSO SUBJECT TO THE RIGHT OF THE PROPRIETOR OF A VEIN OR LODE TO EXTRACT AND REMOVE HIS ORE THEREFROM, SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES HEREBY GRANTED, AS PROVIDED BY LAW.

4. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.

5. AN EASEMENT FOR SEWER AND INCIDENTAL PURPOSES, RECORDED AS DOCKET 7115, PAGE 600.

6. AN EASEMENT FOR UTILITIES AND INCIDENTAL PURPOSES, RECORDED AS DOCKET 9956, PAGE 361.

7. AN EASEMENT FOR ROAD OR HIGHWAY AND INCIDENTAL PURPOSES, RECORDED AS 88-350033 AND 87-372362 OF OFFICIAL RECORDS.

9. THE RIGHTS OF PARTIES IN POSSESSION BY REASON OF ANY UNRECORDED LEASE OR LEASES OR MONTH TO MONTH TENANCIES AFFECTING ANY PORTION OF THE WITHIN DESCRIBED PROPERTY.

#### CERTIFICATION

TO: NEWPORT GROUP 23, L.L.C.  
AND FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN CONFORMANCE WITH "MINIMUM STANDARD REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY ALTA/ACSM AND NSPS IN 1999, AND INCLUDES ITEMS 1, 6, 8, 10, 11, 14, 15, AND 16 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, ACSM, AND NSPS AND IN EFFECT AT THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT THE POSITIONAL UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENTS MADE ON THE SURVEY DO NOT EXCEED THE ALLOWABLE POSITIONAL TOLERANCES.

#### PARCEL B

FIRST AMERICAN TITLE INSURANCE COMPANY

EXHIBIT "A"

FIRST AMENDED

COMMITMENT NO. 201-800-1370120

A PARCEL OF LAND LYING WITHIN THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 1 NORTH, RANGE 2 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION,

THENCE NORTH 88 DEGREES, 37 MINUTES, 36 SECONDS WEST ALONG THE NORTH LINE OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION A DISTANCE OF 1907.19 FEET TO THE TRUE POINT OF BEGINNING, THENCE SOUTH 00 DEGREES, 13 MINUTES, 13 SECONDS WEST, A DISTANCE OF 579.06 FEET,

THENCE NORTH 88 DEGREES, 37 MINUTES, 36 SECONDS WEST A DISTANCE OF 714.79 FEET TO A POINT ON THE NORTH-SOUTH MID-SECTION LINE OF SAID SECTION,

THENCE NORTH 00 DEGREES, 13 MINUTES, 13 SECONDS EAST, ALONG SAID MID-SECTION LINE, A DISTANCE OF 579.06 FEET,

THENCE SOUTH 88 DEGREES, 37 MINUTES, 36 SECONDS EAST ALONG THE NORTH LINE OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION A DISTANCE OF 1907.19 FEET TO THE TRUE POINT OF BEGINNING, EXCEPT THAT PORTION DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE NORTH-SOUTH MID-SECTION LINE OF SAID SECTION, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF THE ABOVE DESCRIBED PORTION,

THENCE SOUTH 88 DEGREES, 37 MINUTES, 36 SECONDS EAST ALONG THE SOUTH LINE OF SAID PORTION, A DISTANCE OF 269.70 FEET TO A POINT ON THE NORTHWESTERLY RIGHT-OF-WAY LINE OF THAT CERTAIN 140.00 FOOT STRIP OF LAND DESCRIBED IN RECORDER'S NO. 87-372362, MARICOPA COUNTY RECORDS, AND THE TRUE POINT OF BEGINNING.

THENCE NORTH 60 DEGREES, 29 MINUTES, 26 SECONDS EAST (NORTH 60 DEGREES, 29 MINUTES, 42 SECONDS EAST RECORD) ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 512.43 FEET TO THE EAST LINE OF SAID PORTION,

THENCE SOUTH 00 DEGREES, 13 MINUTES, 13 SECONDS EAST ALONG SAID EAST LINE, A DISTANCE OF 263.03 FEET TO THE SOUTHEAST CORNER OF SAID PORTION,

THENCE NORTH 88 DEGREES, 37 MINUTES, 36 SECONDS WEST ALONG THE SOUTH LINE OF SAID PORTION A DISTANCE OF 445.09 FEET TO THE TRUE POINT OF BEGINNING.

SCHEDULE B

FIRST AMENDED COMMITMENT NO. 201-800-1370120

PART TWO:

1. TAXES FOR THE FULL YEAR OF 2001. (THE FIRST HALF IS DUE OCTOBER 1, 2001 AND IS DELINQUENT NOVEMBER 1, 2001. THE SECOND HALF IS DUE MARCH 1, 2002 AND IS DELINQUENT MAY 1, 2002.)

2. RESERVATIONS CONTAINED IN THE PATENT FROM THE UNITED STATES OF AMERICA, READING AS FOLLOWS:  
SUBJECT TO ANY VESTED AND ACCRUED WATER RIGHTS FOR MINING, AGRICULTURAL, MANUFACTURING, OR OTHER PURPOSES, AND RIGHTS TO DITCHES AND RESERVOIRS USED IN CONNECTION WITH SUCH WATER RIGHTS AS MAY BE RECOGNIZED AND ACKNOWLEDGED BY THE LOCAL CUSTOMS, LAWS AND DECISIONS OF COURTS, AND THERE IS RESERVED FROM THE LANDS HEREBY GRANTED, A RIGHT OF WAY THEREON FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES OF AMERICA.

3. THE RIGHTS OR CLAIMS OF TITLE, IF ANY, BY THE STATE OF ARIZONA TO ANY PORTION OF THE PROPERTY DESCRIBE IN SCHEDULE A BEING LOCATED IN THE BED OF ANY RIVER OR DRY WASH.

4. WATER RIGHTS, CLAIMS, OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.

5. AN EASEMENT FOR POLE LINES AND INCIDENTAL PURPOSES, RECORDED AS DOCKET 9956, PAGE 361.

6. SALT RIVER PROJECT CANAL ALONG THE NORTHERLY BOUNDARY OF SAID LAND, AS DISCLOSED IN INSTRUMENT RECORDED AS 85-189276 OF OFFICIAL RECORDS.

7. THE TERMS, CONDITIONS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "AGREEMENT" RECORDED APRIL 29, 1985 AS 85-189276 OF OFFICIAL RECORDS.

8. AN EASEMENT FOR ROAD OR HIGHWAY AND INCIDENTAL PURPOSES, RECORDED AS 87-372362, OF OFFICIAL RECORDS.

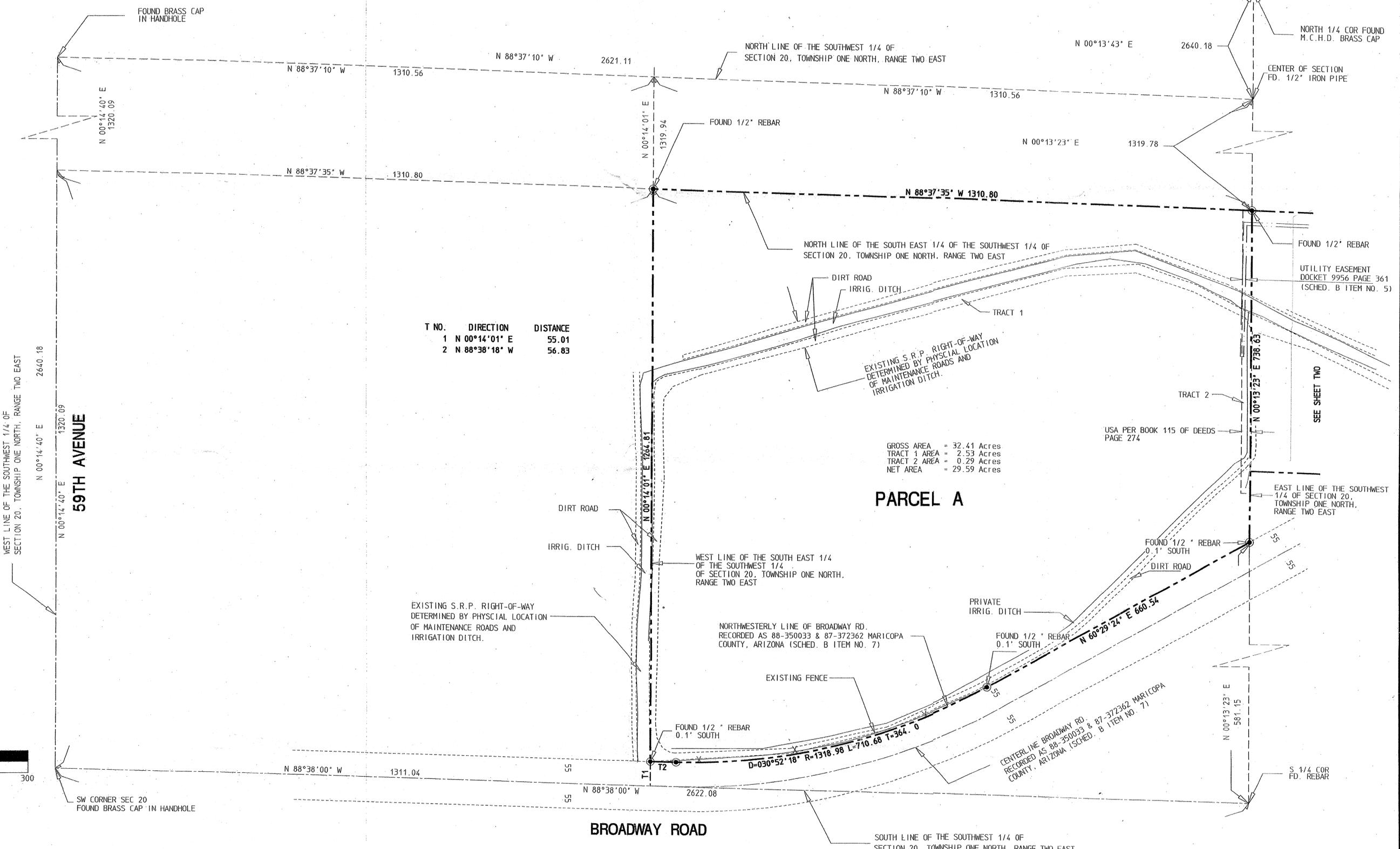
9. AN EASEMENT FOR ROAD OR HIGHWAY AND INCIDENTAL PURPOSES, RECORDED AS 88-350033, OF OFFICIAL RECORDS.

11. THE RIGHTS OF PARTIES IN POSSESSION BY REASON OF ANY UNRECORDED LEASE OR LEASES OR MONTH TO MONTH TENANCIES AFFECTING ANY PORTION OF THE WITHIN DESCRIBED PROPERTY.



RIVER BEND  
S.E.C. JOB NO. 1287001  
SHEET 1 OF 3

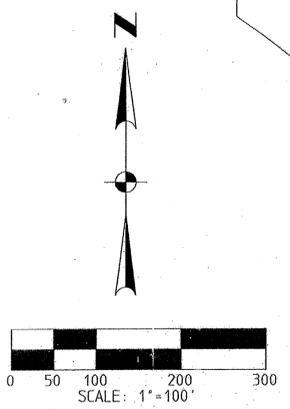
**age engineering corporation**  
3414 S. 48TH ST. - SUITE 8  
PHOENIX, ARIZONA 85040  
(602)966-9271



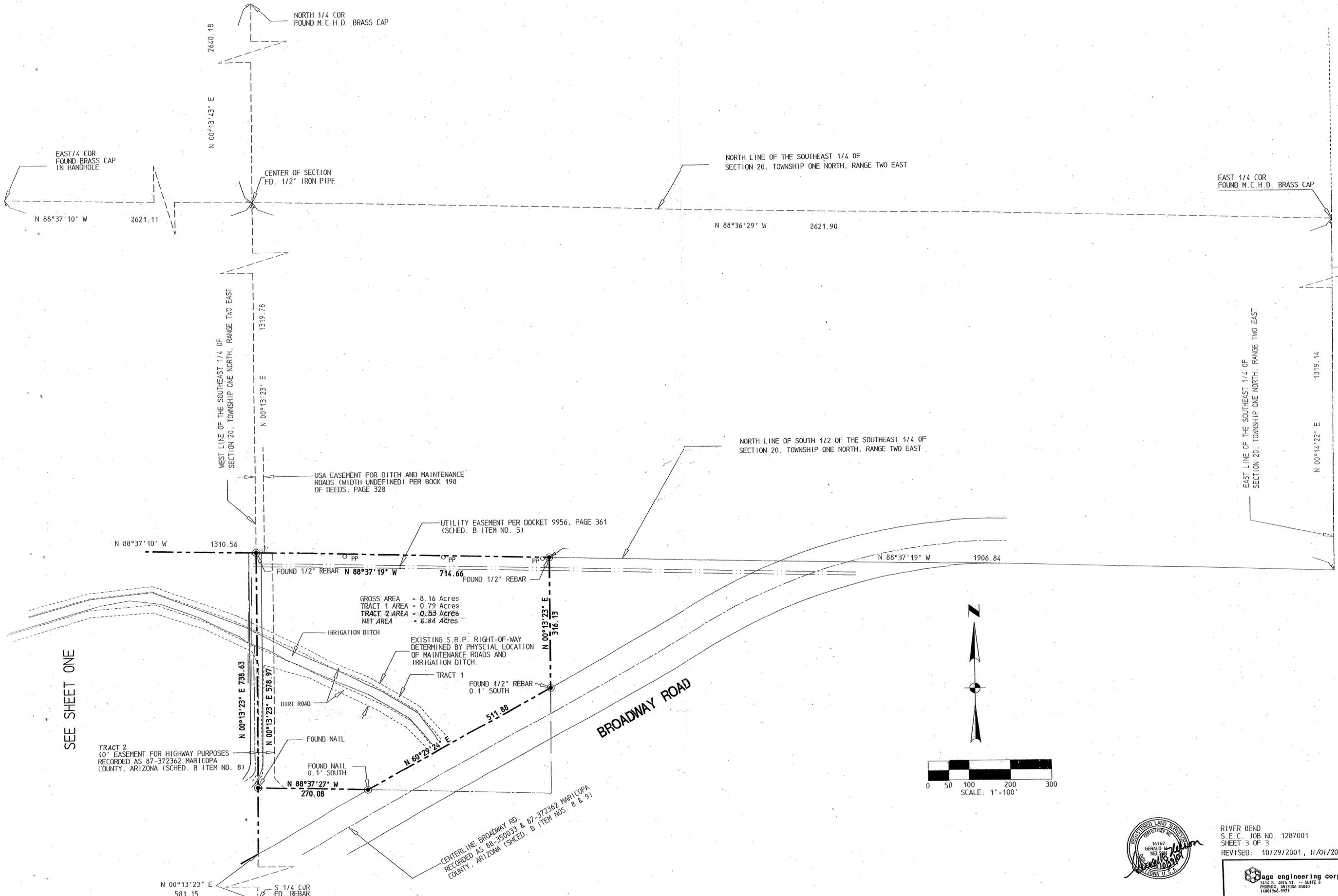
T NO.	DIRECTION	DISTANCE
1	N 00°14'01" E	55.01
2	N 88°38'18" W	56.83

GROSS AREA = 32.41 Acres  
 TRACT 1 AREA = 2.53 Acres  
 TRACT 2 AREA = 0.29 Acres  
 NET AREA = 29.59 Acres

**PARCEL A**



RIVER BEND  
 S.E.C. JOB NO. 1287001  
 SHEET 2 OF 3  
 REVISED: 10/29/2001, 11/01/2001



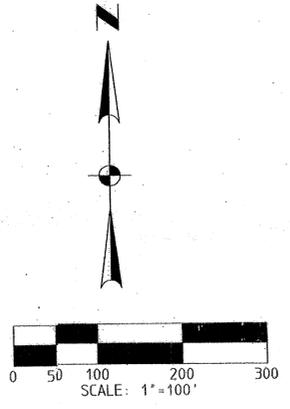
SEE SHEET ONE

TRACT 2  
40' EASEMENT FOR HIGHWAY PURPOSES  
RECORDED AS 87-372362 MARICOPA  
COUNTY, ARIZONA (SCHED. B ITEM NO. 8)

GROSS AREA = 8.16 Acres  
TRACT 1 AREA = 0.79 Acres  
TRACT 2 AREA = 0.53 Acres  
NET AREA = 6.84 Acres

EXISTING S.R.P. RIGHT-OF-WAY  
DETERMINED BY PHYSICAL LOCATION  
OF MAINTENANCE ROADS AND  
IRRIGATION DITCH.

CENTERLINE BROADWAY RD  
RECORDED AS 88-350033 & 87-372362 MARICOPA  
COUNTY, ARIZONA (SCHED. B ITEM NOS. 8 & 9)



RIVER BEND  
S.E.C. JOB NO. 1287001  
SHEET 3 OF 3  
REVISED: 10/29/2001, 11/01/2001

**age engineering corporation**  
3414 S. 48TH ST. - SUITE 8  
PHOENIX, ARIZONA 85040  
4809566-9971



**DEDICATION**

STATE OF ARIZONA }  
 COUNTY OF MARICOPA } SS

KNOW ALL MEN BY THESE PRESENTS: THAT THE NEWPORT GROUP 23, L.L.C., AN ARIZONA COMPANY, AND THE NEWPORT GROUP IV, L.L.C, AN ARIZONA COMPANY, AS OWNERS, HAVE SUBDIVIDED UNDER THE NAME OF "RIVERBEND III", A PLANNED RESIDENTIAL DEVELOPMENT, LOCATED IN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 1 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN PLATTED HEREON; AND HEREBY PUBLISHES THIS PLAT AS AND FOR THE PLAT OF "RIVERBEND III", A PLANNED RESIDENTIAL DEVELOPMENT, AND HEREBY DECLARES THAT SAID PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF EACH LOT, TRACTS, EASEMENTS AND STREETS CONSTITUTING SAME AND THAT EACH LOT, TRACT AND STREET SHALL BE KNOWN BY THE NUMBER, LETTER OR NAME GIVEN EACH RESPECTIVELY, ON SAID PLAT. THE NEWPORT GROUP 23, L.L.C., AND THE NEWPORT GROUP IV, L.L.C., AS OWNERS DEDICATE TO THE PUBLIC THE STREETS AND EASEMENTS AS SHOWN ON SAID PLAT AND INCLUDED IN THE ABOVE DESCRIBED PREMISES.

TRACTS "A" THROUGH "E" ARE HEREBY DECLARED AS COMMON AREAS FOR LANDSCAPE, DRAINAGE AND OPEN SPACE PURPOSES FOR THE USE OF THE LOT OWNERS AS MORE FULLY SET FORTH IN THE COVENANTS, CONDITIONS AND RESTRICTIONS FOR "RIVERBEND III" TO BE HEREAFTER RECORDED, AND WILL BE OWNED AND MAINTAINED BY THE RIVERBEND III, HOMEOWNERS ASSOCIATION.

A DRAINAGE EASEMENT IS HEREBY DEDICATED OVER ALL OF TRACTS "A" AND "B".

IN WITNESS WHEREOF: THE NEWPORT GROUP 23, L.L.C, AN ARIZONA COMPANY, AS OWNER HAS HEREUNDER CAUSED ITS NAME TO BE SIGNED AND THE SAME ATTESTED BY THE UNDERSIGNED OFFICER THEREUNTO DULY AUTHORIZED THIS 16<sup>th</sup> DAY OF April, 2004.

BY: P. Blt Jc ITS Manager

IN WITNESS WHEREOF: THE NEWPORT GROUP IV, L.L.C, AN ARIZONA COMPANY, AS OWNER HAS HEREUNDER CAUSED ITS NAME TO BE SIGNED AND THE SAME ATTESTED BY THE UNDERSIGNED OFFICER THEREUNTO DULY AUTHORIZED THIS 16<sup>th</sup> DAY OF April, 2004.

BY: P. Blt Jc ITS Manager

**ACKNOWLEDGMENT**

STATE OF ARIZONA }  
 COUNTY OF MARICOPA } SS

BEFORE ME THIS THE 16 DAY OF April, 2004, P. Robert Napoli PERSONALLY, APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, WHO ACKNOWLEDGED HIMSELF TO BE Manager OF THE NEWPORT GROUP 23, L.L.C, AN ARIZONA COMPANY, THE LEGAL OWNER OF THE PROPERTY PLATTED HEREON, AND ACKNOWLEDGE THAT HE/SHE, AS \_\_\_\_\_, EXECUTED THIS INSTRUMENT FOR THE PURPOSES HEREIN CONTAINED IN WITNESS WHEREOF, I HEREUUNTO SET MY HAND AND OFFICIAL SEAL.

BY: Matthew J. Montgomery MY COMMISSION EXPIRES: 3/31/07



**ACKNOWLEDGMENT**

STATE OF ARIZONA }  
 COUNTY OF MARICOPA } SS

BEFORE ME THIS THE 16 DAY OF April, 2004, P. Robert Napoli PERSONALLY, APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, WHO ACKNOWLEDGED HIMSELF TO BE Manager OF THE NEWPORT GROUP IV, L.L.C, AN ARIZONA COMPANY, THE LEGAL OWNER OF THE PROPERTY PLATTED HEREON, AND ACKNOWLEDGE THAT HE/SHE, AS \_\_\_\_\_, EXECUTED THIS INSTRUMENT FOR THE PURPOSES HEREIN CONTAINED IN WITNESS WHEREOF, I HEREUUNTO SET MY HAND AND OFFICIAL SEAL.

BY: Matthew J. Montgomery MY COMMISSION EXPIRES: 3/31/07



**APPROVALS**

APPROVED BY THE CITY COUNCIL OF THE CITY OF PHOENIX, ARIZONA, THIS 19<sup>th</sup> DAY OF May, 2004.

ATTEST: Vicky Misc CITY CLERK

APPROVAL BY: Shane Ho DATE: 4/28/04  
 FOR: DEVELOPMENT SERVICES DEPARTMENT

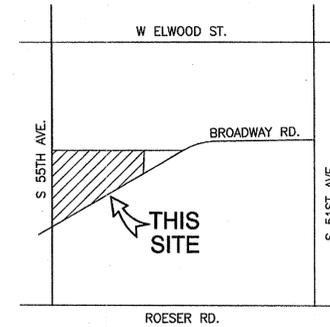
**LEGEND**

- MONUMENT LINE
- RIGHT-OF-WAY LINE
- SUBDIVISION BOUNDARY
- INTERIOR PROPERTY LINE
- CENTERLINE
- PUBLIC UTILITY EASEMENT LINE
- SIGHT VISIBILITY TRIANGLE LINE
- VNAE VEHICULAR NON ACCESS EASEMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- S.W.E. SIDEWALK EASEMENT
- SVT 33'X33' SIGHT VISIBILITY TRIANGLE
- MCR MARICOPA COUNTY RECORDS
- R/W RIGHT-OF-WAY
- ◆ SECTION QUARTER CORNER, AS NOTED
- CENTERLINE MONUMENT (BRASS CAP FLUSH; M.A.G. DTL. 120, TYPE B)
- ▲ CORNER OF SUBDIVISION (AS NOTED)

# FINAL PLAT FOR "RIVERBEND III"

A PLANNED RESIDENTIAL DEVELOPMENT SUBJECT TO SINGLE FAMILY DESIGN REVIEW.  
 LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 20 T1N, R2E, G&SRM, MARICOPA COUNTY, ARIZONA

BOOK 688 PAGE 4  
 OFFICIAL RECORDS OF  
 MARICOPA COUNTY RECORDER  
 HELEN PURCELL  
 2004 - 0598620  
 05/27/2004 01:24 PM



VICINITY MAP  
 N.T.S.

**OWNER/DEVELOPER**

THE NEWPORT GROUP 23, LLC  
 14648 N. SCOTTSDALE ROAD  
 SUITE 325  
 SCOTTSDALE, AZ. 85254-2739  
 PH: (480) 991-0672  
 FAX: (480) 991-2888  
 CONTACT: MATT MONTGOMERY

**OWNER/DEVELOPER**

THE NEWPORT GROUP IV, LLC  
 14648 N. SCOTTSDALE ROAD  
 SUITE 325  
 SCOTTSDALE, AZ. 85254-2739  
 PH: (480) 991-0672  
 FAX: (480) 991-2888  
 CONTACT: MATT MONTGOMERY

**APPLICANT/ENGINEER**

M2 GROUP, INC.  
 4852 E. BASELINE RD.  
 SUITE 107  
 MESA, AZ 85206  
 PH: (480) 539-7497  
 FAX: (480) 539-2810  
 CONTACT: TOM PALMER

**PROJECT DATA**

TOTAL AREA = 9.49 ACRES  
 TOTAL LOTS = 41

**NOTES**

- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
- THIS SUBDIVISION IS LOCATED IN THE CITY OF PHOENIX WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- A MINIMUM 20' SETBACK (18' IF VERTICALLY OPENING GARAGE DOORS ARE PROVIDED) WILL BE PROVIDED FROM BACK OF SIDEWALK TO FACE OF GARAGE DOOR.
- STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33' x 33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
- EACH LOT CONSTITUTES A BUILDING ENVELOPE AND ACCESSORY USES SUCH AS POOLS, PRIVACY WALLS AND ACCESSORY STRUCTURES ARE PERMITTED EXCEPT AS OTHERWISE REGULATED BY OTHER CITY CODES AND ORDINANCES.
- AN ASSOCIATION, INCLUDING ALL PROPERTY OWNERS IN THE DEVELOPMENT, WILL BE FORMED AND HAVE RESPONSIBILITY FOR MAINTAINING ALL COMMON AREAS TO BE NOTED AS "TRACTS" OR EASEMENTS, LANDSCAPE AREAS, AND DRAINAGE FACILITIES IN ACCORDANCE WITH APPROVED PLANS.
- NO STRUCTURE OF ANY KIND SHALL BE CONSTRUCTED ON, OVER OR PLACED WITHIN THE PUBLIC UTILITY EASEMENTS EXCEPT PAVING, WOOD, WIRE OR REMOVABLE SECTION TYPE FENCING. NO VEGETATION SHALL BE PLANTED WITHIN THE EASEMENT EXCEPT GRASS AND/OR GROUND COVER APPROVED BY THE DEVELOPMENT SERVICES DEPARTMENT LANDSCAPE ARCHITECT. IT SHALL BE FURTHER UNDERSTOOD THAT THE CITY OF PHOENIX SHALL NOT BE REQUIRED TO REPLACE ANY OBSTRUCTIONS, PAVING OR VEGETATION THAT BECOMES DAMAGED OR MUST BE REMOVED DURING THE COURSE OF MAINTENANCE, CONSTRUCTION, RECONSTRUCTION, OR REPAIR.
- THIS PROJECT HAS ADDITIONAL CONDITIONS OF APPROVAL (DESCRIBED IN A SUBDIVISION DIVERSITY DEVELOPMENT AGREEMENT ON FILE WITH THE CITY OF PHOENIX DEVELOPMENT SERVICES DEPARTMENT) WHICH MUST BE SATISFIED PRIOR TO INDIVIDUAL BUILDING PERMIT RELEASE.
- NO STRUCTURE OF ANY KIND BE CONSTRUCTED OR ANY VEGETATION BE PLANTED NOR BE ALLOWED TO GROW WITHIN THE DRAINAGE EASEMENT OR TRACT WHICH WOULD IMPEDE THE FLOW OF WATER OVER, UNDER, OR THROUGH THE EASEMENT OR TRACT. THE CITY OF PHOENIX MAY, IF IT SO DESIRES, CONSTRUCT AND/OR MAINTAIN DRAINAGE FACILITIES ON OR UNDER THE LAND IN THE EASEMENTS OR TRACTS.
- ADDITIONAL INDIVIDUAL LOT REQUIREMENTS (I.E., SETBACKS, EASEMENTS, ZONING BOUNDARIES) ARE LOCATED ON THE APPROVED FINAL SITE PLAN.
- ALL EASEMENTS ARE SUBORDINATE TO THE DRAINAGE EASEMENTS.
- EACH LOT IN THIS SUBDIVISION IS PERMITTED ONE DWELLING UNIT.

**BASIS OF BEARING**

THE BASIS OF BEARING FOR THIS PROJECT IS ALONG THE EAST-WEST MID-SECTION OF SECTION 20, TOWNSHIP 1 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN. SAID LINE OF S88°48'46"E (ASSUMED BEARING) (A.L.T.A.).

**CERTIFICATION**

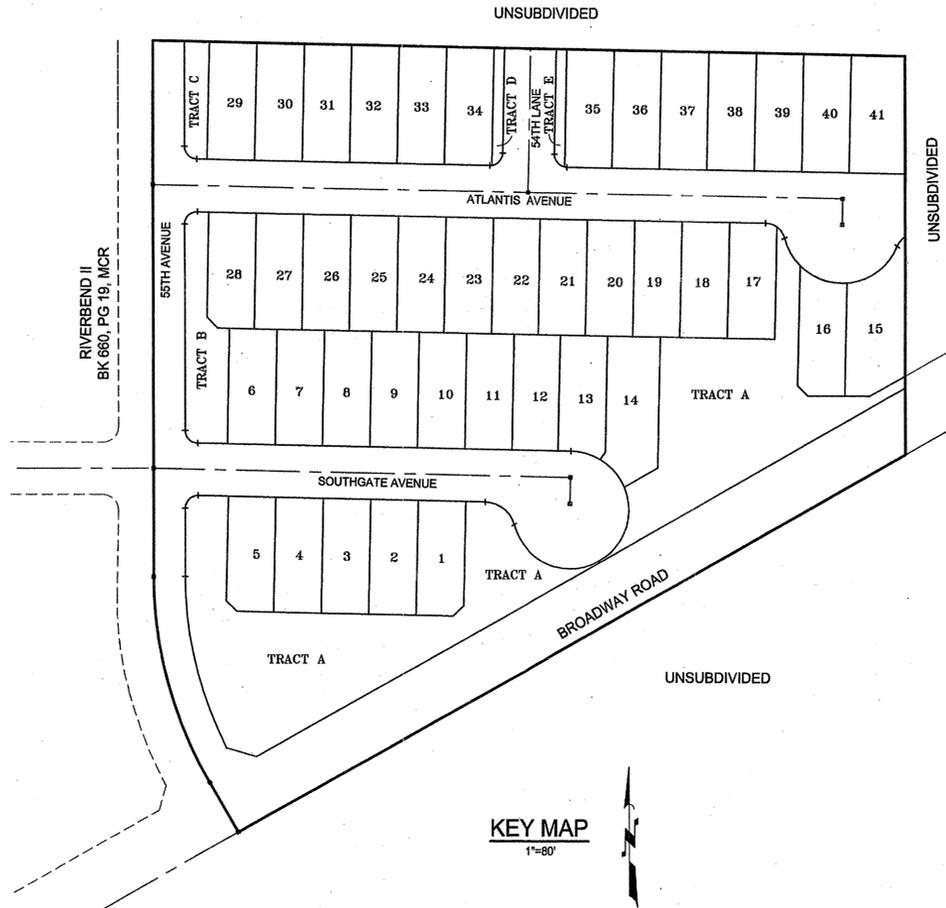
I, ROBERT S. UNGER, HEREBY CERTIFY, THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF ARIZONA. THAT THIS MAP CONSISTING OF TWO (2) SHEETS, CORRECTLY REPRESENTS A SURVEY MADE UNDER MY DIRECTION DURING THE MONTH OF NOVEMBER, 2003, THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN, THAT THE MONUMENTS SHOWN ACTUALLY EXIST OR WILL BE SET AS SHOWN, THAT THEIR POSITIONS ARE CORRECT AND ACCURATE AS SHOWN AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

ROBERT S. UNGER #35306



**TRACT TABLE**

TRACT	AREA (acres)	DESCRIPTION OF USE
A	1.38	LANDSCAPE / OPEN SPACE / DRAINAGE
B	0.16	LANDSCAPE / OPEN SPACE / DRAINAGE
C	0.06	LANDSCAPE / OPEN SPACE
D	0.03	LANDSCAPE / OPEN SPACE
E	0.03	LANDSCAPE / OPEN SPACE
TOTAL	1.66	



KEY MAP  
 1"=80'

M2 Group, Inc.  
 4852 E. Baseline Road  
 Suite 107  
 Mesa, Arizona 85206  
 Tel: (480) 539-7497  
 Fax: (480) 539-2810



FINAL PLAT  
 RIVER BEND III  
 PHOENIX, ARIZONA

PROJECT:

JOB NO.  
 03017ND  
 3017FP01.DWG  
 SHEET NO.  
 1  
 1 OF 2





**CITY OF PHOENIX  
GENERAL NOTES**

1. A GRADING PERMIT IS REQUIRED UNDER CHAPTER 32A OF THE PHOENIX CITY CODE.
2. HAUL PERMITS, WHEN REQUIRED, MUST BE OBTAINED PRIOR TO OR CONCURRENTLY WITH THE GRADING AND DRAINAGE PERMIT.
3. EXCAVATING CONTRACTOR MUST GIVE LOCATION FOR WASTING EXCESS EXCAVATION AND A LETTER FROM OWNER GIVING PERMISSION FOR DUMPING PRIOR TO STARTING ON-SITE CONSTRUCTION. IF EXCESS EXCAVATION EXCEEDS 100 CUBIC YARDS, THE DISPOSAL SITE WILL ALSO REQUIRE A GRADING AND DRAINAGE PERMIT.
4. DEVELOPMENT SERVICES DEPARTMENT'S FIELD INSPECTION GROUP SHALL BE NOTIFIED 48 HOURS BEFORE ANY ON-SITE AND/OR OFF-SITE CONSTRUCTION BEGINS, TELEPHONE (602) 262-7811.
5. MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM THE 100 YEAR FLOOD OR PER MINIMUM SPECIFIED IN THE CITY OF PHOENIX STORM DRAIN DESIGN MANUAL, WHICHEVER IS GREATER.
6. STAKING PAD ELEVATIONS IS THE RESPONSIBILITY OF THE OWNER AND HIS ENGINEER. THE OWNER'S ENGINEER SHALL SUBMIT THREE SEALED COPIES OF THIS GRADING AND DRAINAGE PLAN DESIGNATED AS "RECORD DRAWING" (BEARING AN ORIGINAL SIGNATURE) PRIOR TO THE REQUEST FOR FINAL INSPECTION.
7. PAD CERTIFICATIONS WILL BE REQUIRED ON ALL LOTS WITHIN THE SUBDIVISION AND SUBMITTED TO THE CIVIL/SITE INSPECTOR PRIOR TO ANY CONCRETE CONSTRUCTED IN THE RIGHT-OF-WAY. PAD CERTIFICATION CAN BE SUBMITTED TO THE CIVIL/SITE INSPECTOR BY EITHER SUBMITTING ONE APPROVED BLACK-LINE AS-BUILT GRADING AND DRAINAGE PLAN OR IN LETTER FORMAT SHOWING THE DESIGN AND AS-BUILT PAD ELEVATIONS AS SHOWN ON THE APPROVED GRADING AND DRAINAGE PLAN. IT IS REQUIRED THAT THE AS-BUILT PLAN AND LETTER BE SEALED BY A CIVIL ENGINEER OR LAND SURVEYOR REGISTERED IN THE STATE OF ARIZONA.
8. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
9. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
10. GRADING AND DRAINAGE PLAN APPROVAL INCLUDES THE CONSTRUCTION OF ALL SURFACE IMPROVEMENTS SHOWN ON THE APPROVED PLAN, INCLUDING, BUT NOT LIMITED TO, RETENTION AREAS, SEDIMENTATION BASINS, AND/OR OTHER DRAINAGE FACILITIES, DRAINAGE PATTERNS, WALLS, CURBS, ASPHALT PAVEMENT, AND BUILDING FLOOR ELEVATIONS.
11. CONTRACTOR SHALL PROVIDE LEVEL BOTTOM IN ALL RETENTION BASINS AT ELEVATIONS SHOWN ON THE PLANS. SLOPE PROTECTION SHALL BE APPLIED TO PREVENT EROSION.
12. GRADES SHOWN IN RETENTION BASINS ARE DESIGN FINISHED GRADES. SHOULD THE CONTRACTOR OR ANY SUBCONTRACTOR PLAN TO PLACE SPOIL DIRT FROM FOOTINGS, UTILITY TRENCHES, LANDSCAPING, SWIMMING POOLS, ETC. IN THE BASINS, THEN THE BASINS SHOULD BE SUFFICIENTLY OVER-EXCAVATED DURING THE ROUGH GRADING OPERATIONS TO ALLOW FOR THE PLACEMENT OF THE FILL OR LANDSCAPING MATERIALS.
13. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND CONFIRMING DEPTHS OF ALL THE EXISTING UTILITY LINES WITHIN PROPOSED RETENTION BASIN AREA. IF THE BASIN CANNOT BE CONSTRUCTED PER PLAN BECAUSE OF CONFLICTS, THE CONTRACTOR SHOULD DISCUSS MODIFICATION OF BASIN CONFIGURATION WITH THE CITY INSPECTOR TO DETERMINE IF A PLAN REVISION OR A FIELD CHANGE IS REQUIRED.
14. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS, OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
15. RETENTION BASIN SIDE SLOPES SHALL BE A MAXIMUM OF 4:1 UNLESS APPROVAL IS RECEIVED FROM THE PLAN REVIEWER FOR A STEEPER SLOPE.
16. REQUIRED RETAINING WALLS SHOWN ON THE GRADING AND DRAINAGE PLANS ARE TO BE REVIEWED, PERMITTED, AND INSPECTED BY THE BUILDING SAFETY BRANCH OF THE DEVELOPMENT SERVICES DEPARTMENT.
17. CERTIFICATE OF OCCUPANCY (C. OF O.) AND/OR FINAL ELECTRICAL CLEARANCE FOR ANY BUILDING IS DENIED UNTIL ALL GRADING AND DRAINAGE IMPROVEMENTS ARE COMPLETED.
18. EXISTING OR NEWLY DAMAGED AND/OR DISPLACED CONCRETE CURB, GUTTER, SIDEWALK, OR DRIVEWAY SLAB THAT IS WITHIN THE RIGHT-OF-WAY SHALL BE REPAIRED OR REPLACED, AS NOTED BY CITY INSPECTORS, BEFORE FINAL ACCEPTANCE OF THE WORK.
19. THE ENGINEERING DESIGN ON THESE PLANS ARE ONLY APPROVED BY THE CITY IN SCOPE AND NOT IN DETAIL. CONSTRUCTION QUANTITIES ON THESE PLANS ARE NOT VERIFIED BY THE CITY. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
20. THE CITY OF PHOENIX POLICE DEPARTMENT ENFORCES LAWS REGULATING THE OPERATION OF COMMERCIAL VEHICLES. THIS INCLUDES ENFORCEMENT OF FEDERAL, STATE, COUNTY AND LOCAL LAWS AND ORDINANCES. QUESTIONS REGARDING COMMERCIAL VEHICLE ENFORCEMENT MAY BE DIRECTED TO THE COMMERCIAL VEHICLE ENFORCEMENT SUPERVISOR AT (602) 495-7813 (TRAFFIC BUREAU SOUTH) OR (602) 495-8784 (TRAFFIC BUREAU NORTH).
21. ALL HDPE STORM DRAIN PIPE SHALL BE MANUFACTURED, DESIGNED AND INSTALLED IN ACCORDANCE WITH AASHTO M252, AASHTO M294, MAG AND CITY OF PHOENIX SUPPLEMENTS TO MAG AND THESE SPECIAL PROVISIONS.
22. ALL HDPE STORM DRAIN PIPE SHALL BE TYPE 'S' CORRUGATED, WITH WATERTIGHT JOINTS. HDPE PIPE SHALL NOT BE ALLOWED WITHIN A MINIMUM OF TWENTY-FOUR (24) LINEAR FEET OF AN OPEN OUTFALL. THE OUTFALL SECTION OF STORM DRAIN PIPE SHALL BE CONCRETE OR CONCRETE-LINED AS SHOWN ON THE PLANS.
23. AT A MINIMUM, ALL HDPE STORM DRAIN PIPE JOINTS SHALL MEET THE ASTM D-3212 WATERTIGHT REQUIREMENT OF 10.8 PSI (25 COLUMN FEET OF WATER HEAD).
24. THE CONTRACTOR SHALL PROVIDE A COPY OF AN ACCEPTED INDEPENDENT 3RD PARTY LAB CERTIFICATION THAT ALL THE PIPE AND JOINTS TO BE USED ON THE PROJECT MEET THE ASTM D-3212 WATERTIGHT STANDARD.
25. ALL HDPE PIPE CONNECTIONS TO MANHOLES SHALL MEET ASTM C-923 REQUIREMENTS.
26. COMMON RETENTION BASINS ARE REQUIRED, NO ON-LOT RETENTION ALLOWED.
27. A PAVEMENT CUT SURCHARGE SHALL BE ASSESSED ON THIS PROJECT FOR ANY TRENCHING OR POTHOLING IN NEW ASPHALT PAVEMENT THAT IS LESS THAN 30 MONTHS OLD. SURCHARGE FEES ASSESSED ARE IN ADDITION TO THIS REGULAR PERMIT FEES AND ARE OVER AND ABOVE ANY SPECIAL BACKFILL, COMPACTION, AND PAVEMENT REPLACEMENT STIPULATIONS THAT MAY BE IMPOSED AS A CONDITION OF PERMITTING. PAVEMENT CUT SURCHARGE FEES IS ASSESSED IN ACCORDANCE WITH SECTION 31-38 OF THE PHOENIX CITY CODE.

**ENGINEER NOTES TO CONTRACTOR**

1. ALL GRADING AND EARTHWORK SHALL BE PERFORMED IN COMPLIANCE WITH THE SOILS INVESTIGATION REPORT PREPARED BY SAGE.
2. OWNER/DEVELOPER IS RESPONSIBLE FOR REGISTERING THE DRY WELLS SHOWN ON THE G&D PLAN WITH THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (A.D.E.Q.). FOR INFORMATION ABOUT SPECIFIC REQUIREMENTS, CONTACT THE WATER PERMITS UNIT AT (602) 207-4886.
3. DRYWELL MUST BE DRILLED A MINIMUM OF 10 FEET INTO PERMEABLE POROUS STRATA OR PERCOLATION TESTS WILL BE REQUIRED. THE G&D INSPECTOR MUST BE PRESENT BEFORE BACKFILL OR WELL PIPES ARE PLACED WITHIN ANY DRY WELLS.

**ESTIMATED QUANTITIES**

	TOTAL
RELOCATE POWER LINES. CONTRACTOR TO COORDINATE WITH SRP	-
REMOVE & BACKFILL DITCH PER MAG SPEC 206.4 & 206.5	-
DRYWELL; NOTES & DETAILS SHEET 3	3 EA

**ESTIMATED EARTHWORKS**

CUT = 9980 C.Y.
FILL = 7930 C.Y.
NET = 2050 C.Y. (CUT)

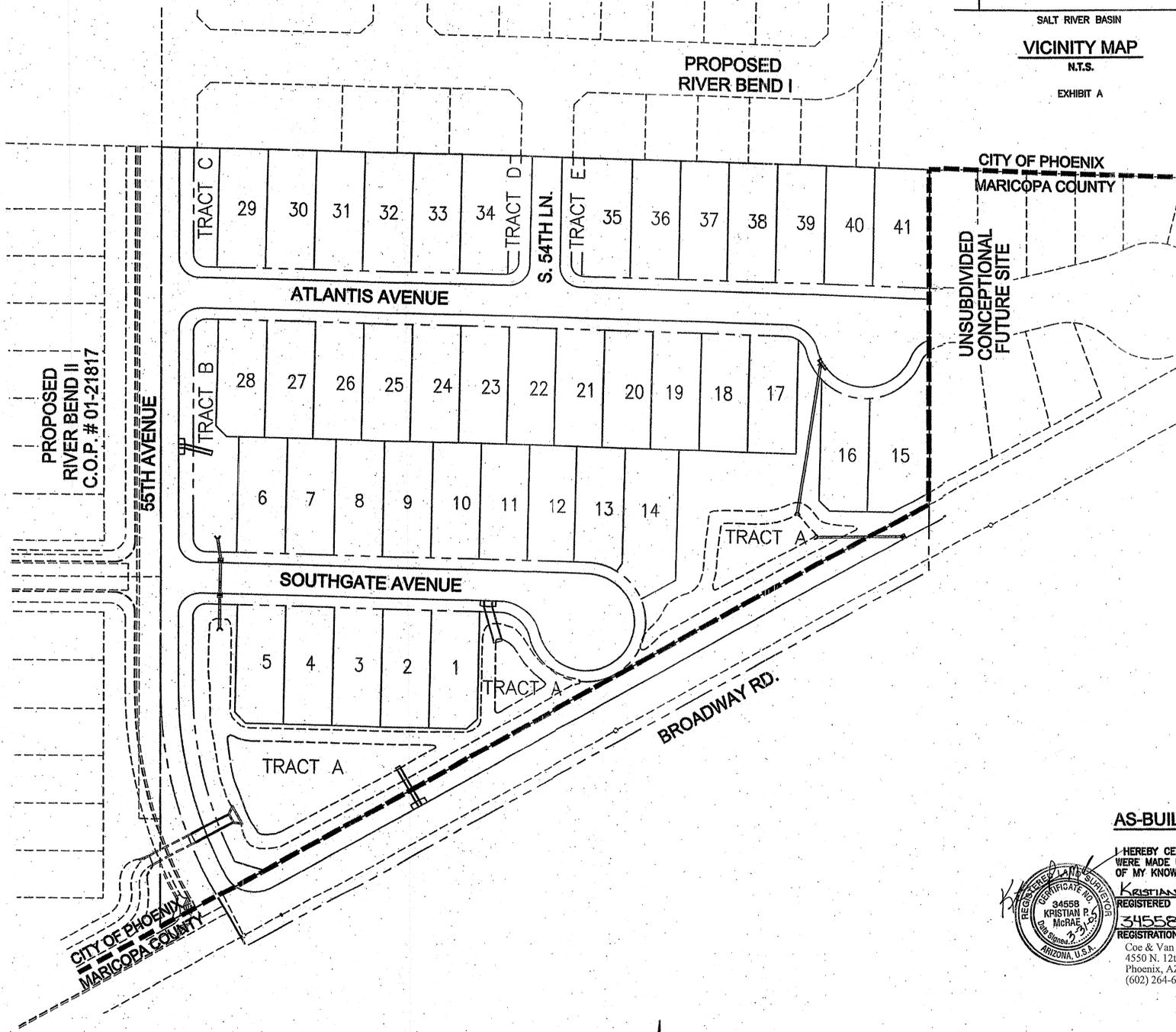
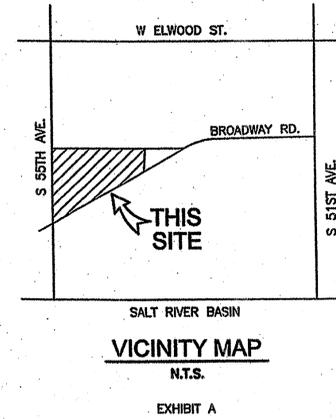
ALL GRADING AND CONSTRUCTION ON THIS SITE SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS REPORT AND ANY EXCESS MATERIAL SHALL BE USED ON SITE. NUMBERS SHOWN ARE FOR ESTIMATING PURPOSES ONLY. CONTRACTORS SHALL PERFORM THEIR OWN, INDEPENDENT EARTHWORK ANALYSIS ON WHICH BIDS SHOULD BE BASED.

**GRADING & DRAINAGE PLAN**

FOR

**"RIVER BEND III"**

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 20  
T1N, R2E, G&SRB&M, PHOENIX, MARICOPA COUNTY, ARIZONA



**LEGEND**

	PROPOSED TOP OF CURB ELEV.
	DIRECTION & GRADE OF SLOPE
	FINISHED FLOOR & PAD ELEV.
	EXISTING CONTOUR ELEV.
	PROPOSED CONTOUR ELEV.
	GRADE BREAK (GB)
	GRADE CHANGE (GC)
	PROPOSED STORM DRAIN PIPE
	PROPOSED IRRIGATION PIPE
	PROPOSED CATCH BASIN
	PROPOSED TC & GUTTER ELEV.
	EXISTING TC & GUTTER ELEV.
	PROPOSED VERTICAL CURB & GUTTER
	PROPOSED DRYWELL
	TRW TOP OF RETAINING WALL
	BRW BOTTOM OF RETAINING WALL
	91.40 FINISH GRADE @ REAR PROPERTY LINE
	M.U.T.E. MULTI-USE TRAIL ESMT

**OWNER / DEVELOPER**

THE NEWPORT GROUP 23, LLC  
14648 N. SCOTTSDALE ROAD  
SUITE 325  
SCOTTSDALE, AZ, 85254  
PHONE: (480) 991-0572  
FAX: (480) 991-0672  
CONTACT: MATT MONTGOMERY

**ENGINEER**

M2 GROUP, INC.  
4852 E. BASELINE RD.  
SUITE 107  
MESA, AZ 85206  
PHONE: (480) 539-7497  
FAX: (480) 539-2810  
CONTACT: TOM PALMER

**BENCHMARK**

M.C.H.D. BRASS CAP IN  
HAND HOLE INTERSECTION OF  
59TH AVE AND BROADWAY ROAD.  
ELEVATION = 1008.32(C.O.P. DATUM)

**SHEET INDEX**

- 1.....COVER SHEET & GENERAL NOTES
- 2-3.....GRADING DETAILS
- 4.....GRADING PLAN

NET SITE AREA = 8.06 AC.

**AS-BUILT CERTIFICATION**

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

KRISTIAN P. McRAE  
REGISTERED LAND SURVEYOR/ENGINEER  
34558  
REGISTRATION NUMBER  
Coe & Van Loo Consultants  
4550 N. 12th St.  
Phoenix, AZ 85014  
(602) 264-6831

MARCH 31, 2005  
DATE



City of Phoenix  
These plans have been approved by the  
Development Services Department for  
the issuance of the following permit(s):

Grading	Ph. 1	Date 1/22/04
SWMP	Ph. 1	Date
Paving	Ph. 1	Date
Concrete	Ph. 1	Date
Drain. Fac.	Ph. 1	Date
Water	Ph. 1	Date
Wastewater	Ph. 1	Date
Misc.	Ph. 1	Date

KEY MAP  
SCALE: 1"=60'

ABOVE ENGINEERS QUANTITIES ARE FOR ESTIMATING PURPOSES ONLY, NOT FOR BIDDING PURPOSES. CONTRACTOR SHALL BASE THEIR BID ON THEIR OWN QUANTITY TAKEOFFS. ENGINEER MAKES NO GUARANTEE OF ACCURACY.

03017ND - RIVER BEND III

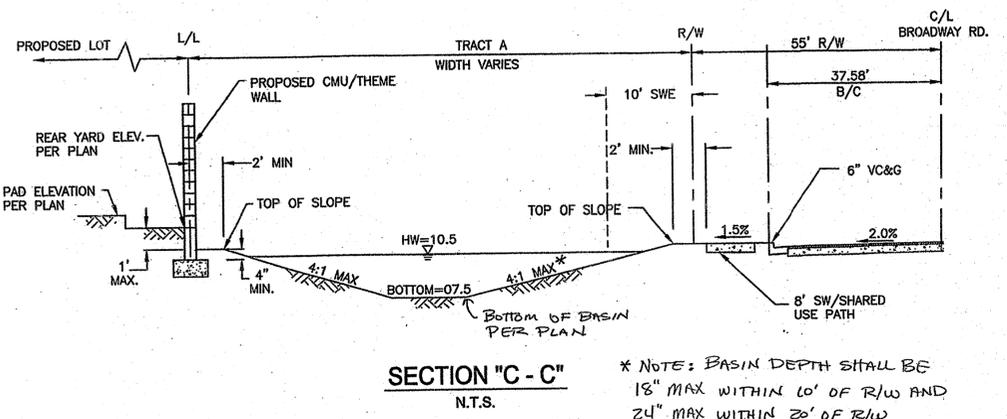
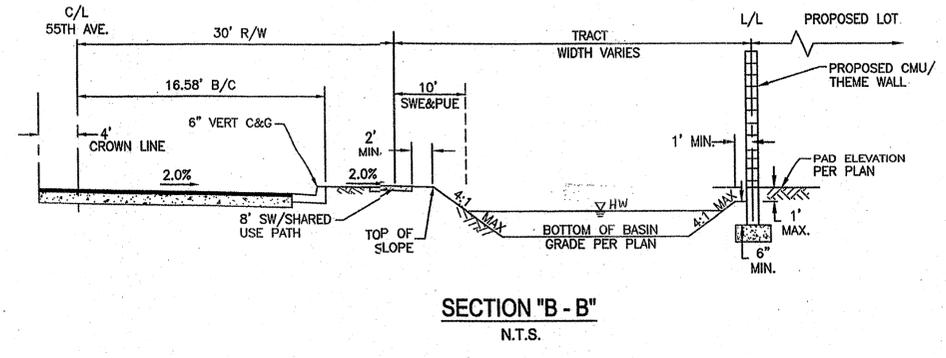
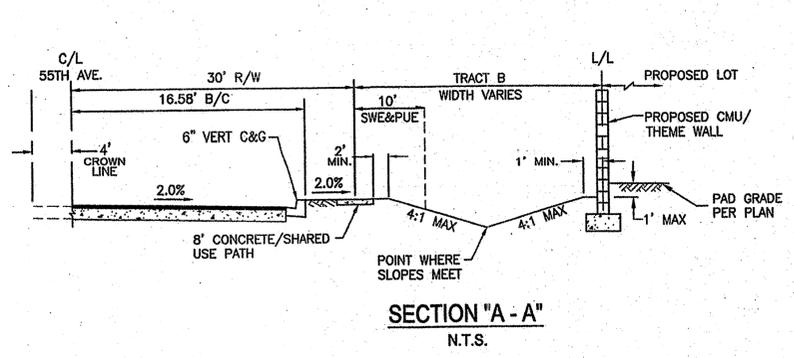
GRADING COVER SHEET  
RIVER BEND III  
PHOENIX, ARIZONA

PROJECT: M2 group Civil Engineering  
JOB NO. 03017ND  
3017GC01.DWG  
SHEET NO. 1  
1 OF 4

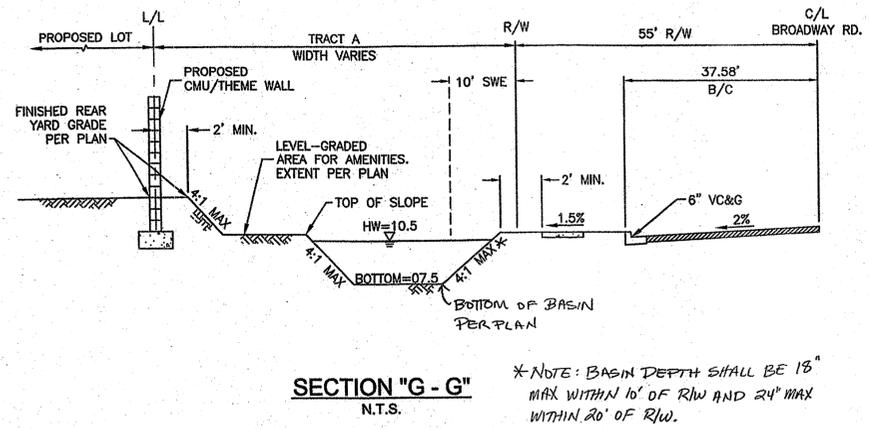
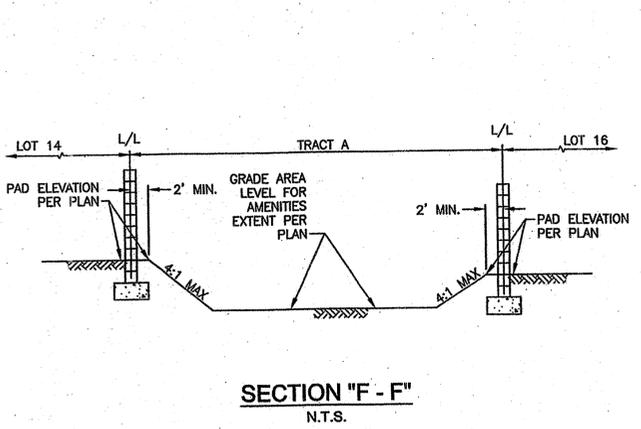
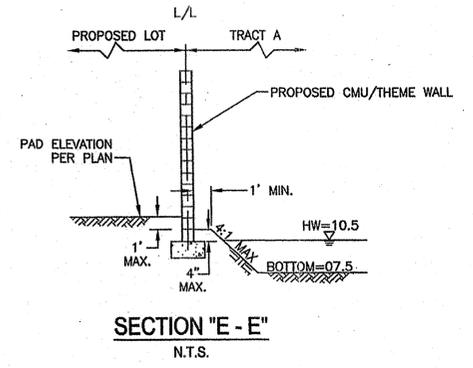
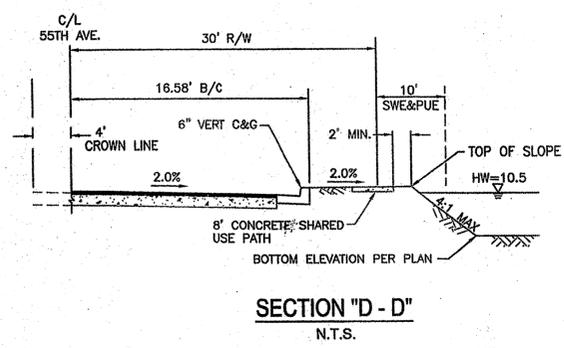
M2 Group, Inc.  
4852 E. Baseline Road  
Suite 107  
Mesa, Arizona 85206  
tel: (480) 539-7497  
fax: (480) 539-2810



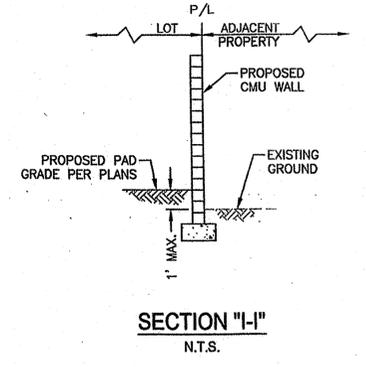
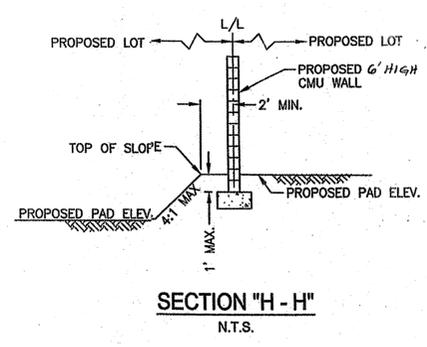
QS 5-16 KIVA #03-1439 SDEV #0300619 CSPR#0400131



\* NOTE: BASIN DEPTH SHALL BE 18" MAX WITHIN 10' OF R/W AND 24" MAX WITHIN 20' OF R/W.



\* NOTE: BASIN DEPTH SHALL BE 18" MAX WITHIN 10' OF R/W AND 24" MAX WITHIN 20' OF R/W.



REVISIONS:

M2 Group, Inc.  
4852 E. Baseline Road  
Suite 107  
Mesa, Arizona 85206  
Tel: (480) 539-7497  
Fax: (480) 539-2810

**m2 group**  
Civil Engineering

GRADING DETAILS  
RIVER BEND III  
PHOENIX, ARIZONA

PROJECT:

CALL TWO WORKING DAYS BEFORE YOU DO  
268-1100  
1-800-STAKE-IT  
(OUTSIDE METROPHIA COUNTY)

REGISTERED PROFESSIONAL ENGINEER  
38786  
THOMAS R. PALMER  
State of Arizona, U.S.A.

JOB NO.  
03017ND

3017GD01.DWG

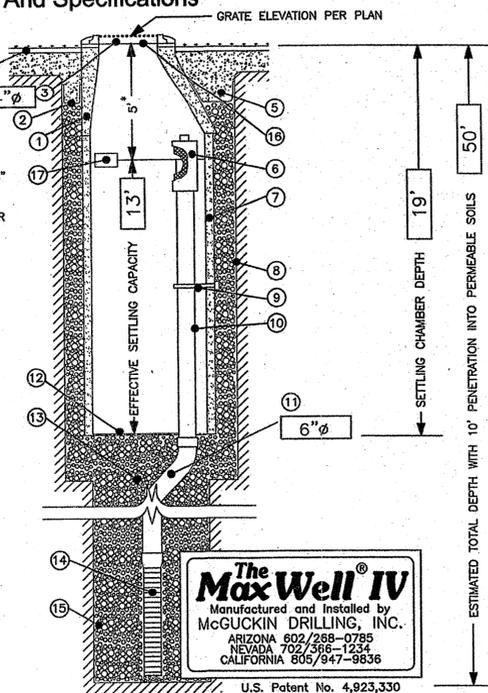
SHEET NO.  
2  
2 OF 4

QS 5-16 KIVA #03-1439 SDEV #0300619 CSFR#0400131

AS-BUILT

**MaxWell® IV Drainage System Detail And Specifications**

- ① MANHOLE CONE - MODIFIED FLAT BOTTOM.
- ② MOISTURE MEMBRANE - 6 MIL PLASTIC. PLACE SECURELY AGAINST CONE AND HOLE SIDEWALL.
- ③ BOLTED RING & GRATE - CLEAN CAST IRON WITH WORDING "STORM WATER ONLY" IN RAISED LETTERS AND BOLTED IN TWO LOCATIONS, SECURED TO CONE WITH MORTAR. RIM ELEVATION ±0.02' OF PLANS.
- ④ GRADED BASIN - (BY OTHERS).
- ⑤ COMPACTED BASE MATERIAL - (BY OTHERS).
- ⑥ PUREFLO® DEBRIS SHIELD - ROLLED 16 GA. STEEL X 24" LENGTH WITH VENTED ANTI-SIPHON AND INTERNAL .265" MAX. S/WO FLATTENED EXPANDED STEEL SCREEN X 12" LENGTH. FUSION BONDED EPOXY COATED.
- ⑦ PRECAST LINER - 4000 PSI CONCRETE 48" ID. 54" OD. CENTER IN HOLE AND ALIGN SECTIONS TO MAXIMIZE BEARING SURFACE.
- ⑧ MIN. 6" Ø DRILLED SHAFT.
- ⑨ SUPPORT BRACKET - FORMED 12 GA. STEEL. FUSION BONDED EPOXY COATED.
- ⑩ OVERFLOW PIPE - SCH 40 PVC MATED TO DRAINAGE PIPE BELOW BASE SEAL.
- ⑪ DRAINAGE PIPE - ADS HIGHWAY GRADE WITH MDI-A COUPLER. SUSPEND PIPE DURING BACKFILL OPERATIONS TO PREVENT BUCKLING OR BREAKAGE.
- ⑫ BASE SEAL - GEOTEXTILE, POLY LINER OR CONCRETE SLURRY.
- ⑬ ROCK - CLEAN AND WASHED, SIZED BETWEEN 3/8" AND 1-1/2". TO BEST COMPLEMENT SOIL CONDITIONS.
- ⑭ FLOFAST® DRAINAGE SCREEN - SCHEDULE 40 PVC 0.120 SLOTTED WELL SCREEN WITH 32 SLOTS PER ROW/FT. 96" OVERALL LENGTH WITH MDI-B COUPLER.
- ⑮ MIN. 4" Ø SHAFT - DRILLED IN A MANNER TO MAINTAIN PERMEABILITY OF DRAINAGE SOILS.
- ⑯ FABRIC SEAL - UV RESISTANT GEOTEXTILE - TO BE REMOVED BY CUSTOMER AT PROJECT COMPLETION.
- ⑰ ABSORBENT - HYDROPHOBIC PETROCHEMICAL SPONGE. MIN. 100 OZ. CAPACITY.

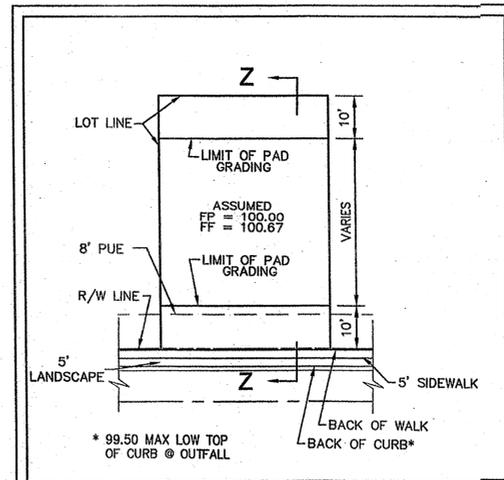


**The MaxWell® IV**  
 Manufactured and Installed by  
**McGUCKIN DRILLING, INC.**  
 ARIZONA 602/268-0785  
 NEVADA 702/366-1234  
 CALIFORNIA 805/947-9836  
 U.S. Patent No. 4,923,330  
 © Trademark 1974, 1987, McGuckin Drilling, Inc.

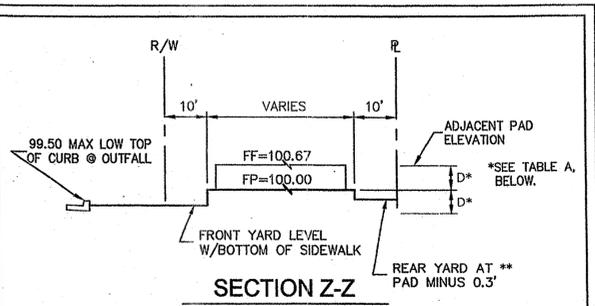
AZ Lic. 70465 47067, ADWR 363  
 CA Lic. 528080, HAZ.  
 NV Lic. 35350

**DRYWELL NOTES**

1. DRY WELL TO BE SET AT LEAST 100 FEET FROM ANY SURROUNDING WATER PRODUCTION WELL, UNDERGROUND STORAGE TANK, OR FUEL LOADING AREA.
2. DRY WELL IS NOT TO BE CONSTRUCTED IN ANY AREA WHERE HAZARDOUS OR TOXIC MATERIALS ARE STORED OR HANDLED.
3. DRY WELL IS NOT TO BE LOCATED IN ANY AREA WHERE AN ACCIDENTAL SPILL OF HAZARDOUS OR TOXIC LIQUID WOULD DRAIN INTO THE DRY WELL.
4. DRY WELL IS NOT TO BE LOCATED AT A LOADING DOCK WHERE HAZARDOUS SUBSTANCES ARE HANDLED.
5. DRY WELL IS NOT TO BE LOCATED WITHIN ANY GROUNDWATER SATURATED ZONES.
6. DRY WELL SHALL DISPOSE OF STORM WATER RUN-OFF ONLY.
7. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR REGISTERING THE DRY WELLS SHOWN ON THE G&D PLAN WITH THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (A.D.E.Q.), FOR INFORMATION. ABOUT SPECIFIC REQUIREMENTS, CONTACT THE WATER PERMITS UNIT AT (602) 207-4686.
8. DRY WELLS MUST BE DRILLED A MINIMUM OF 10 FEET INTO PERMEABLE POROUS STRATA OR PERCOLATION TESTS WILL BE REQUIRED. THE G&D INSPECTOR MUST BE PRESENT BEFORE BACKFILL OR WELL PIPES ARE PLACED WITHIN ANY DRY WELLS.



**TYPICAL INTERIOR LOT INITIAL GRADING DETAILS**  
 NTS

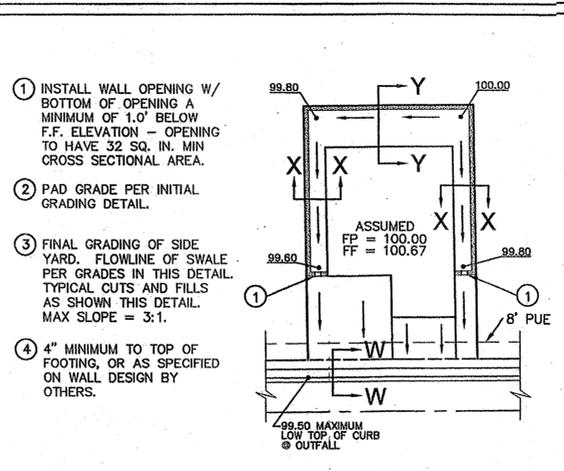


NOTE:  
 THE FINAL GRADING OF TYPICAL LOTS MUST CONFORM TO THE FINAL GRADING DETAIL. FRONT YARDS SHALL BE UNDERCUT AS SHOWN ON THE INITIAL GRADING DETAIL TO PROVIDE AREA FOR WASTING MATERIAL FROM FOOTINGS, STEMWALLS AND DRIVEWAYS.

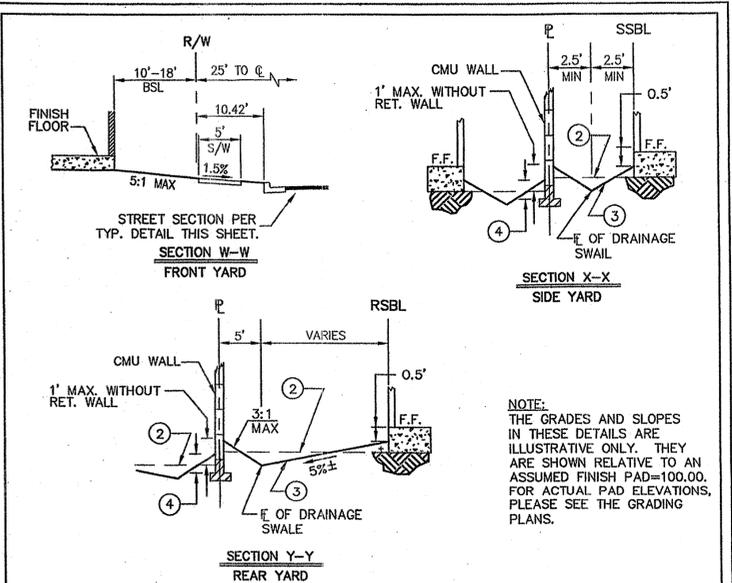
GRADE DIFF. (D)	GRADING INSTRUCTIONS
0' TO 0.4'	RAKE STRAIGHT ACROSS PROPERTY LINE
0.5' TO 1.0'	STEP AT PROPERTY LINE (1' MAX.)

\*\* TYPICAL FOR MOST LOTS. GRADE REAR YARDS OF OTHER LOTS PER PLAN ELEVATION AND/OR SECTION DETAILS.

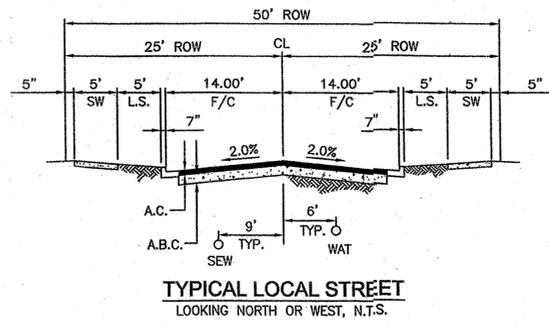
NOTE:  
 POST-TENSION FLOORS HAVE BEEN RECOMMENDED FOR THIS DEVELOPMENT.



**TYPICAL INTERIOR LOT FINAL GRADING DETAILS**  
 NTS



NOTE:  
 THE GRADES AND SLOPES IN THESE DETAILS ARE ILLUSTRATIVE ONLY. THEY ARE SHOWN RELATIVE TO AN ASSUMED FINISH PAD=100.00. FOR ACTUAL PAD ELEVATIONS, PLEASE SEE THE GRADING PLANS.



**TYPICAL LOCAL STREET**  
 LOOKING NORTH OR WEST, N.T.S.

REVISIONS:

M2 Group, Inc.  
 4652 E. Baseline Road  
 Suite 107  
 Mesa, Arizona 85206  
 tel: (480) 539-7497  
 fax: (480) 539-2810

**m2 group**  
 Civil Engineering

**GRADING DETAILS**  
**RIVER BEND III**  
 PHOENIX, ARIZONA

PROJECT:

ALL THE WORKING DAYS BEFORE YOU DO  
 263-1100  
 1-800-STAKE-IT  
 (OUTSIDE MARICOPA COUNTY)

REGISTERED PROFESSIONAL ENGINEER  
 38798  
 THOMAS R. PALMER  
 State of Arizona  
 License No. 14464

JOB NO.  
 03017ND

3017GD02.DWG

SHEET NO.

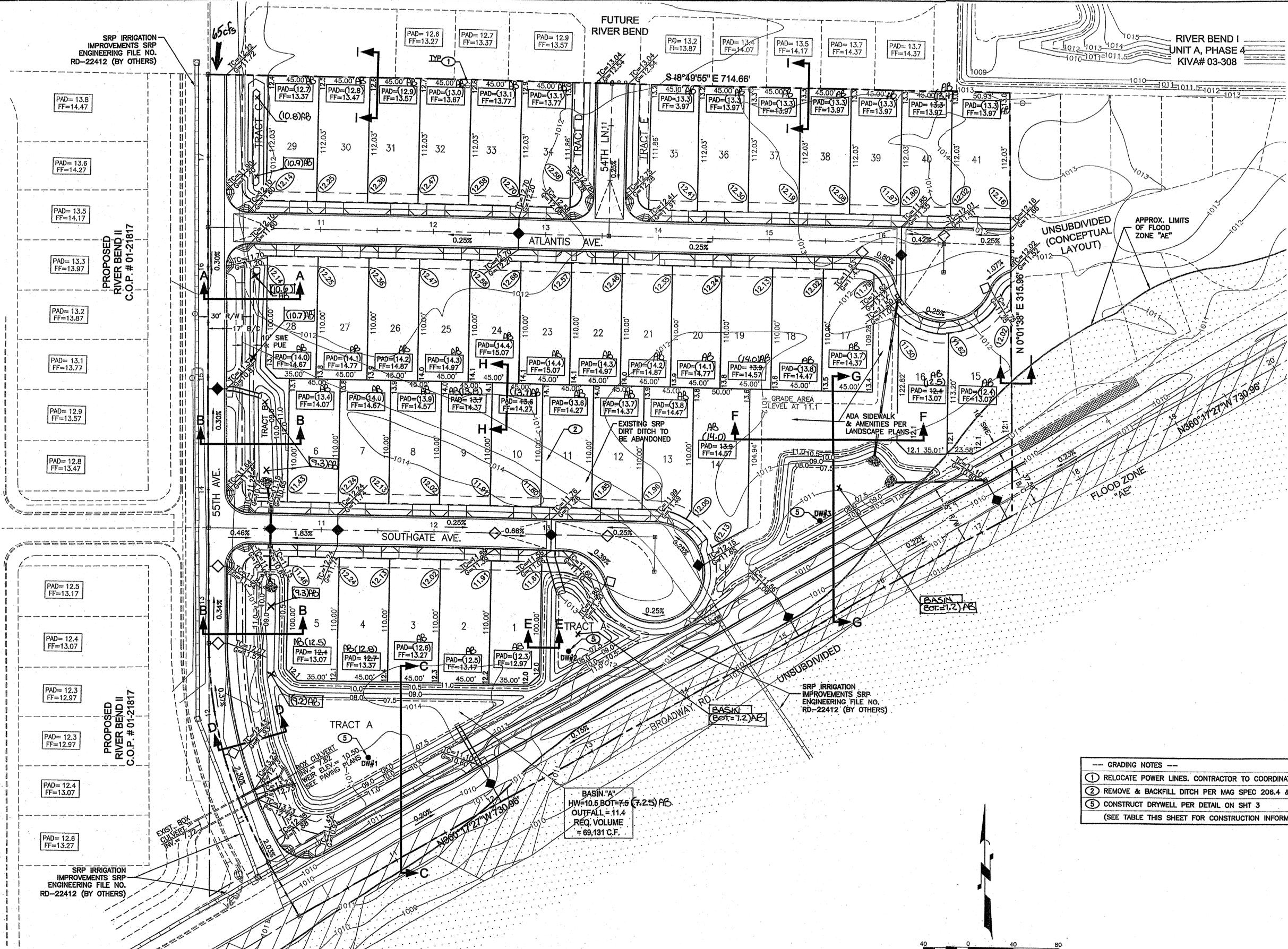
3

3 OF 4

QS 5-16 KIVA #03-1439 SDEV #0300619 CSPPR#0400131

**AS-BUILT**

# 03017ND - RIVER BEND III



SRP IRRIGATION IMPROVEMENTS SRP ENGINEERING FILE NO. RD-22412 (BY OTHERS)

PROPOSED RIVER BEND II C.O.P. # 01-21817

PROPOSED RIVER BEND II C.O.P. # 01-21817

SRP IRRIGATION IMPROVEMENTS SRP ENGINEERING FILE NO. RD-22412 (BY OTHERS)

FUTURE RIVER BEND

RIVER BEND I UNIT A, PHASE 4 KIVA# 03-308

S-8°49'55" E 714.66'

ATLANTIS AVE.

SOUTHGATE AVE.

BROADWAY RD.

UNSUBDIVIDED (CONCEPTUAL LAYOUT)

APPROX. LIMITS OF FLOOD ZONE "AE"

FLOOD ZONE "AE"

SRP IRRIGATION IMPROVEMENTS SRP ENGINEERING FILE NO. RD-22412 (BY OTHERS)

BASIN "A"  
HW=10.6 BOT=7.5 (7.25) AB  
OUTFALL = 11.4  
REQ. VOLUME = 69,131 C.F.

- GRADING NOTES ---
- ① RELOCATE POWER LINES. CONTRACTOR TO COORDINATE WITH SRP
  - ② REMOVE & BACKFILL DITCH PER MAG SPEC 206.4 & 206.5
  - ③ CONSTRUCT DRYWELL PER DETAIL ON SHT 3
- (SEE TABLE THIS SHEET FOR CONSTRUCTION INFORMATION)

NOTE:  
ELEVATIONS SHOWN IN ADJACENT DEVELOPMENTS ARE NOT AS-BUILT.

DRYWELL	STREET	STATION	OFFSET	GRATE ELEVATION
DW#1	BROADWAY RD.	11+24	93' LT.	1007.80
DW#2	BROADWAY RD.	13+27	89' LT.	1007.80
DW#3	BROADWAY RD.	15+80	80' LT.	1007.80

REVISIONS:

M2 Group, Inc.  
4859 E. Baseline Road  
Suite 107  
Phoenix, Arizona 85026  
Tel: (480) 536-7497  
Fax: (480) 539-2810

**m2 group**  
Civil Engineering

GRADING & DRAINAGE PLAN  
PROJECT: RIVER BEND III  
PHOENIX, ARIZONA

CALL TO ORDER OR FOR MORE INFORMATION  
263-1100  
1-800-STAKE-IT  
(GIVE AREA COUNTY)

REGISTERED PROFESSIONAL ENGINEER  
STATE OF ARIZONA  
35796  
THOMAS R. PALMER  
PHOENIX, ARIZONA, U.S.A.

JOB NO.  
03017ND

3017GP01.DWG

SHEET NO.  
**4**

4 OF 4

QS 5-16 KIVA #03-1439 SDEV #0300619 CSPP#0400131

AS-BUILT