



# LOMR-F APPLICATION

FOR

## LEGACY VILLAGE

N.W.C. 24<sup>TH</sup> STREET & BASELINE ROAD  
PHOENIX, ARIZONA

Prepared by:

**CMX, L.L.C.**

1515 E. Missouri, Suite 115

Phoenix, Arizona 85014

(602) 279-8436

Developer:

**PEDERSON GROUP INC.**

2800 North Central Avenue, Suite 1500

Phoenix, Arizona 85004

602/265-2888



October 2003

CMX Project No. 6758

## **Description**

This Letter of Map Revision based on Fill (LOMR-F) application package is submitted with regards to Legacy Village, a commercial development in the City of Phoenix, Arizona.

This application package includes the following:

- Appendix A
  - o City of Phoenix Floodplain Manager Memorandum
- Appendix B
  - o LOMR-F Application Forms
  - o Application Fee (\$800.00)
- Appendix C
  - o Flood Insurance Rate Map
- Appendix D
  - o Final Grading Plans
  - o Building Pad Certifications
  - o HEC-1 CD (BFE Hydrology)
  - o Exhibit C (HEC-1 Hydrology Exhibit)
  - o Maricopa County Flood Control District Memorandum (BFE Hydraulics)
- Appendix E
  - o Assessor Map
  - o Property Deeds
  - o Final Plat



# Appendix A



## City of Phoenix

To: Erin Andres, Planner II  
Development Services DepartmentII

Date: December 20, 2002

From: Hasan Mushtaq, Ph.D., P. E., C. F. M.  
Floodplain Manager

A handwritten signature in black ink, appearing to read "Hasan Mushtaq", written over a horizontal line.

Subject: LEGACY VILLAGE  
PROJECT NUMBER 02-2951, Q.S. 1-32

We have examined subject Preliminary Site Plan to determine if this project is within a Special Flood Hazard Area, as designated by the Federal Emergency Management Agency (FEMA). SFHAs are areas subject to inundation by a 100-year flood.

Our examination has determined that this project is located in a Special Flood Hazard Area, (Western Canal ) Zone A, Panel 2145 G , of the Flood Insurance Rate Maps (FIRM) dated July 19, 2001. A building permit should not be issued for this project until a **LETTER OF MAP REVISION - FILL (LOMR-F) IS OBTAINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA)**. If you have any questions please contact the Floodplain Manager at 602-262-4960.

The Architect/Engineer is required to show the floodplain boundary limits on the Grading and Drainage plan and ensure that impacts to the proposed facilities have been considered; following the National Flood Insurance Program (NFIP) Regulations (44 CFR Paragraph 60.3). This includes but not limited to provisions in the latest version of the Floodplain Ordinance of the Phoenix City Code. A copy of the Grading and Drainage Plan needs to be submitted to the Floodplain Management Section of the Street Transportation Department for review and approval of Floodplain requirements prior to issuance of a Grading Permit.

Thank you for the opportunity to review this plan.

HM/DW/aff/02-2951 legacy.doc

Grading and Drainage Plan review fees. A SWMP permit will be required at the time the grading permit is issued. The SWMP permit will be held open until receipt of the Notice of Termination (NOT) by the Project Engineering Division Field Inspector. Current NOI forms are available at the Flood Control District of Maricopa County (phone 506-1501).

7. If there are any existing irrigation supply ditches and/or irrigation tailwater ditches on this site, or in the right-of-way adjacent to this site, they must be replaced with an underground pipeline, or abandoned subject to the approval of the irrigation company and/or downstream users.
8. Show that access from ADA accessible parking to the main entrances or other ADA accessible space meets ADA requirements for slopes etc.

#### FLOODPLAIN REQUIREMENTS:

1. **A portion of this site is in a Special Flood Hazard Area (SFHA), according to Flood Insurance Rate Map (FIRM) Panel # 1245 G issued by the Federal Emergency Management Agency (FEMA). Contact the Floodplain Management Section on the 5th floor, phone 262-4960, to obtain copies of the FIRM, current rules and regulations, and to determine the current status of this SFHA.**
2. Flood Insurance is mandatory on all structures located within the SFHA if the Federal Government has guaranteed any loans against the structure. This includes most loans obtained through banks and savings institutions. The cost of insurance could be prohibitive for new structures that do not comply with the floodplain regulations.
3. The finish floor of all residential structures constructed in the Special Flood Hazard Area (SFHA) must be a minimum of one (1) foot above the Base Flood Elevation (BFE). No basements are allowed in residential structures. **NO FILLING OR CONSTRUCTION WHICH WILL CAUSE ANY RISE IN THE WATER SURFACE ELEVATION IN THE FLOODWAY WILL BE ALLOWED.** Septic tanks are not allowed in the floodplain. Modular buildings must have the bottom of the structure raised one (1) foot above the Base Flood Elevation (BFE). Below ground tanks must be anchored against floatation. Mechanical and electrical equipment must be installed one (1) foot above the BFE. Above ground tanks are considered structures for floodplain management purposes.
4. An "Elevation Certificate" must be completed for each structure constructed in the SFHA prior to the electrical clearance for that structure. One copy of the "Elevation Certificate" is to be submitted to the General Building Safety Inspector on site and one copy is to be submitted to the City of Phoenix Flood Plain Manager. See City Code and Federal Code for a complete list of requirements. Show the limits of the floodplain and Base Flood Elevations on the Site Plan and Grading and Drainage Plan.
5. If a Letter of Map Revision (LOMR) is processed, any facilities that will require maintenance in the future must be constructed to City Specifications because the City is required to guarantee maintenance to FEMA.

#### IV. IMPROVEMENT PLANS AND ASSURANCES

The following improvements shall be installed in accordance with approved plans:

1. Provide landscaping in accordance with plans approved by the Development Services Department Landscape Architect. Formal submittal of Landscape Plans must be made at the Central Log-In counter, 2<sup>nd</sup> Floor of City Hall. Landscape Plans will not be accepted for review without reference copies of the current G&D plans and the approved Preliminary Site Plan.
2. Provide funds in escrow for future improvements on Baseline Road that include curb, gutter, sidewalk, trail, paving, medians, landscaping (from the street to the back of the trail) and incidentals



## Appendix B



In addition to this form (MT-1 Form 1), ALL requests must include the following:

- Copy of the Plat Map for the property (with recordation data and stamp of the Recorder's Office)  
OR
- Copy of the property Deed (with recordation data and stamp of the Recorder's Office), accompanied by a tax assessor's map or other certified map showing the surveyed location of the property relative to local streets and watercourses
- Copy of the effective FIRM panel and/or Flood Boundary and Floodway Map (FBFM) (if applicable) on which the property location has been accurately plotted (property inadvertently located in the NFIP regulatory floodway will require Section B of MT-1 Form 3)
- Form 2 – Elevation Form. If an Elevation Certificate has already been completed for this property, it may be submitted in addition to Form 2.

Please include a map scale and North arrow on all maps submitted.

For LOMR-Fs and CLOMR-Fs, the following must be submitted in addition to the items listed above:

- Form 3 – Community Acknowledgment Form

Processing Fee (see instructions for appropriate mailing address; or, visit [http://www.fema.gov/mit/tsd/frm\\_fees.htm](http://www.fema.gov/mit/tsd/frm_fees.htm) for the most current fee schedule)

Revised fee schedules are published periodically, but no more than once annually, as noted in the Federal Register. Please note: single/multiple lot(s)/structure(s) LOMAs are fee exempt. The current review and processing fees are listed below:

Check the fee that applies to your request:

- \$325 (single lot/structure LOMR-F following a CLOMR-F)
- \$425 (single lot/structure LOMR-F)
- \$500 (single lot/structure CLOMA or CLOMR-F)
- \$700 (multiple lot/structure LOMR-F following a CLOMR-F, or multiple lot/structure CLOMA)
- \$800 (multiple lot/structure LOMR-F or CLOMR-F)

Please submit the Payment Information Form for remittance of applicable fees. Please make your check or money order payable to: National Flood Insurance Program.

All documents submitted in support of this request are correct to the best of my knowledge. I understand that any false statement may be punishable by fine or imprisonment under Title 18 of the United States Code, Section 1001.

Applicant's Name: Peterson/Legacy Village LLC  
Please Print or Type

Company: Peterson/Legacy Village LLC

Mailing Address: 2800 N. Central Ave  
Suite 1500  
Phoenix, AZ 85004

Daytime Telephone No. (602) 265-2888

E-Mail Address:  
(optional)

Fax No. (602) 265-2889

Date 10/1/03

[Signature] as behalf of Peterson/Legacy Village LLC  
Signature of Applicant (required)

If you have any questions concerning FEMA policy, or the NFIP in general, please contact the FEMA Map Assistance Center toll free at 1-877-FEMA MAP (1-877-336-2627), or visit the Flood Hazard Mapping website at [www.fema.gov/mit/tsd/](http://www.fema.gov/mit/tsd/).

FEDERAL EMERGENCY MANAGEMENT AGENCY  
**ELEVATION FORM**

O.M.B. NO. 3067-0147  
 Expires September 30, 2005

**PAPERWORK BURDEN DISCLOSURE NOTICE**

Public reporting burden for this form is estimated to average 1 hour per response. The burden estimate includes the time for reviewing instructions, searching existing data sources, gathering and maintaining the needed data, and completing, reviewing, and submitting the form. You are not required to respond to this collection of information unless a valid OMB control number appears in the upper right corner of this form. Send comments regarding the accuracy of the burden estimate and any suggestions for reducing this burden to: Information Collections Management, Federal Emergency Management Agency, 500 C Street, SW, Washington DC 20472, Paperwork Reduction Project (3067-0147). Submission of the form is required to obtain or retain benefits under the National Flood Insurance Program. **Please do not send your completed survey to the above address.**

This form must be completed for requests and must be completed and signed by a registered professional engineer or licensed land surveyor. **A FEMA National Flood Insurance Program (NFIP) Elevation Certificate may be submitted in addition to this form for single structure requests.**

For requests to remove a structure on natural grade OR on engineered fill from the Special Flood Hazard Area (SFHA), submit the lowest adjacent grade (the lowest ground touching the structure), including an attached deck or garage. For requests to remove an entire parcel of land from the SFHA, provide the lowest lot elevation; or, if the request involves an area described by metes and bounds, provide the lowest elevation within the metes and bounds description.

1. NFIP Community Number: 040051 Property Name or Address: Legacy Village @ NWC of 24<sup>th</sup> St. & Baseline Rd.

2. Are the elevations listed below based on  existing or  proposed conditions? (Check one)

3. What is the elevation datum? NGVD 29 If any of the elevations listed below were computed using a datum different than the datum used for the effective Flood Insurance Rate Map (FIRM) (e.g., NGVD 29 or NAVD 88), what was the conversion factor? N/A

Local Elevation +/- ft. = FIRM Datum

4. For the existing or proposed structures listed below, what are the types of construction? (check all that apply)  
 crawl space  slab on grade  basement/enclosure  other (explain)

5. Has FEMA identified this area as subject to land subsidence or uplift? (see instructions)  Yes  No  
 If yes, what is the date of the current releveing? / (month/year)

Lot Number	Block Number	Lowest Lot Elevation	Lowest Adjacent Grade To Structure	Base Flood Elevation	For FEMA Use Only
	2320		72.65	72.14	
	2250		72.30	72.14	

This certification is to be signed and sealed by a licensed land surveyor, registered professional engineer, or architect authorized by law to certify elevation information. All documents submitted in support of this request are correct to the best of my knowledge. I understand that any false statement may be punishable by fine or imprisonment under Title 18 of the United States Code, Section 1001.

Certifier's Name: Kevin C. Kammerzell	License No.: 35050	Expiration Date: 6/30/05
Company Name: CMX, L.L.C.	Telephone No.: (602) 567-1900	Fax No.: (602) 567-1901
Signature:	Date:	





FEDERAL EMERGENCY MANAGEMENT AGENCY  
**COMMUNITY ACKNOWLEDGMENT FORM**

O.M.B. NO. 3067-0147  
 Expires September 30, 2005

**PAPERWORK BURDEN DISCLOSURE NOTICE**

Public reporting burden for this form is estimated to average 0.88 hour per response. The burden estimate includes the time for reviewing instructions, searching existing data sources, gathering and maintaining the needed data, and completing, reviewing, and submitting the form. You are not required to respond to this collection of information unless a valid OMB control number appears in the upper right corner of this form. Send comments regarding the accuracy of the burden estimate and any suggestions for reducing this burden to: Information Collections Management, Federal Emergency Management Agency, 500 C Street, SW, Washington DC 20472, Paperwork Reduction Project (3067-0147). Submission of the form is required to obtain or retain benefits under the National Flood Insurance Program. **Please do not send your completed survey to the above address.**

This form must be completed for requests involving the existing or proposed placement of fill (complete Section A) OR to provide acknowledgment of this request to remove a property from the SFHA which was previously located within the regulatory floodway (complete Section B).

This form must be completed and signed by the official responsible for floodplain management in the community. The community number and the subject property address must appear in the spaces provided below.

Community Number: 040051                      Property Name or Address: Legacy Village @ NWC of 24th St. & Baseline Rd.

**A. REQUESTS INVOLVING THE PLACEMENT OF FILL**

As the community official responsible for floodplain management, I hereby acknowledge that we have received and reviewed this Letter of Map Revision Based on Fill (LOMR-F) or Conditional LOMR-F request. Based upon the community's review, we find the completed or proposed project meets or is designed to meet all of the community floodplain management requirements, including the requirement that no fill be placed in the regulatory floodway, and that all necessary Federal, State, and local permits have been, or in the case of a Conditional LOMR-F, will be obtained. In addition, we have determined that the land and any existing or proposed structures to be removed from the SFHA are or will be reasonably safe from flooding as defined in 44CFR 65.2(c), and that we have available upon request by FEMA, all analyses and documentation used to make this determination. For LOMR-F requests, we understand that this request is being forwarded to FEMA for a possible map revision.

Community Comments:

Community Official's Name and Title: *(Please Print or Type)*

*HASAN MUSHTAQ, PH.D, P.E, CFM*

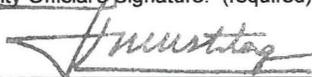
Telephone No.:

*602-262-4026*

Community Name:

*CITY OF PHOENIX AZ.*

Community Official's Signature: *(required)*



Date:

*12/11/03*

**B. PROPERTY LOCATED WITHIN THE REGULATORY FLOODWAY**

As the community official responsible for floodplain management, I hereby acknowledge that we have received and reviewed this request for a LOMA. We understand that this request is being forwarded to FEMA to determine if this property has been inadvertently included in the regulatory floodway. We acknowledge that no fill on this property has been or will be placed within the designated regulatory floodway. We find that the completed or proposed project meets or is designed to meet all of the community floodplain management requirements.

Community Comments:

Community Official's Name and Title: *(Please Print or Type)*

Telephone No.:

Community Name:

Community Official's Signature *(required)*:

Date:



## Appendix C

**Grading & Drainage Notes:**

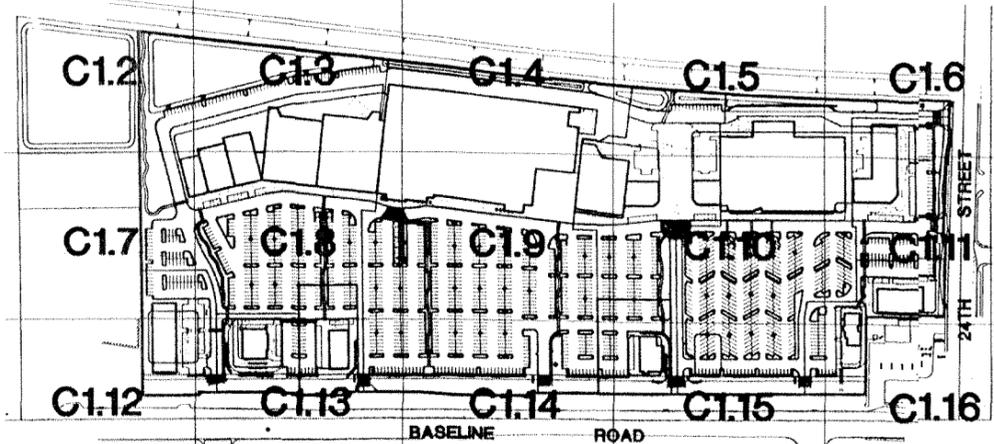
- A GRADING PERMIT IS REQUIRED UNDER CHAPTER 32A OF THE PHOENIX CITY CODE.
- HAUL PERMITS, WHEN REQUIRED, MUST BE OBTAINED PRIOR TO OR CONCURRENTLY WITH THE GRADING AND DRAINAGE PERMIT.
- EXCAVATING CONTRACTOR MUST GIVE LOCATION FOR WASTING EXCESS EXCAVATION AND A LETTER FROM OWNER GIVING PERMISSION FOR DUMPING PRIOR TO STARTING ON-SITE CONSTRUCTION. IF EXCESS EXCAVATION EXCEEDS 100 CUBIC YARDS, THE DISPOSAL SITE WILL ALSO REQUIRE A GRADING AND DRAINAGE PERMIT.
- DEVELOPMENT SERVICES DEPARTMENT'S FIELD INSPECTION GROUP SHALL BE NOTIFIED 48 HOURS BEFORE ANY ON-SITE OR OFF-SITE CONSTRUCTION BEGINS, TELEPHONE (602) 262-7811.
- MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM THE 100 YEAR FLOOD OR PER MINIMUM SPECIFIED IN THE CITY OF PHOENIX STORM DRAIN DESIGN MANUAL, WHICHEVER IS GREATER.
- STAKING FINISHED FLOOR ELEVATIONS IS THE RESPONSIBILITY OF THE OWNER AND HIS ENGINEER. THE OWNER'S ENGINEER SHALL SUBMIT ONE SEALED COPY OF THIS GRADING AND DRAINAGE PLAN DESIGNATED AS "RECORD DRAWING" (BEARING AN ORIGINAL SIGNATURE) PRIOR TO THE REQUEST FOR FINAL INSPECTION.
- A FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) "ELEVATION CERTIFICATE" MUST BE COMPLETED FOR EACH STRUCTURE CONSTRUCTED IN A SPECIAL FLOOD HAZARD AREA (SFHA) PRIOR TO AN ELECTRICAL CLEARANCE FOR THAT STRUCTURE. ONE COPY OF THE "ELEVATION CERTIFICATE" IS TO BE SUBMITTED TO THE GENERAL BUILDING SAFETY INSPECTOR ON SITE AND ONE COPY IS TO BE SUBMITTED TO THE CITY OF PHOENIX FLOOD PLAIN MANAGER.
- PAD CERTIFICATE WILL BE REQUIRED ON ALL LOTS WITHIN THE SUBDIVISION AND SUBMITTED TO THE CIVIL/SITE INSPECTOR PRIOR TO ANY CONCRETE CONSTRUCTION IN THE RIGHT-OF-WAY. PAD CERTIFICATION CAN BE SUBMITTED TO THE CIVIL/SITE INSPECTOR BY EITHER SUBMITTING ONE APPROVED BLACK-LINE AS-BUILT GRADING AND DRAINAGE PLAN OR IN LETTER FORMAT SHOWING THE DESIGN AND AS-BUILT PAD ELEVATIONS AS SHOWN ON THE APPROVED GRADING AND DRAINAGE PLAN. IT IS REQUIRED THAT THE AS BUILT PLAN AND LETTER BE SEALED BY A CIVIL ENGINEER OR LAND SURVEYOR REGISTERED IN THE STATE OF ARIZONA.
- A SEPARATE PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- DRYWELLS, WHEN REQUIRED, MUST BE DRILLED A MINIMUM OF 10 FEET INTO PERMEABLE POROUS STRATA OR PERCOLATION TESTS WILL BE REQUIRED. THE GRADING AND DRAINAGE INSPECTOR MUST BE PRESENT BEFORE BACKFILL OR WELL PIPES ARE PLACED WITHIN ANY DRYWELLS.
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR REGISTERING THE DRYWELLS SHOWN ON PLAN WITH THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (A.D.E.Q.), FOR INFORMATION ABOUT SPECIFIC REQUIREMENTS, CONTACT THE WATER PERMITS UNIT AT (602) 207-4678.
- GRADING AND DRAINAGE PLAN APPROVAL INCLUDES THE CONSTRUCTION OF ALL SURFACE IMPROVEMENTS SHOWN ON THE APPROVED PLAN, INCLUDING, BUT NOT LIMITED TO, RETENTION AREAS, SEDIMENTATION BASINS, AND/OR OTHER DRAINAGE FACILITIES, DRAINAGE PATTERNS, WALLS, CURBS, ASPHALT PAVEMENT AND BUILDING FLOOR ELEVATIONS.
- CONTRACTOR SHALL PROVIDE LEVEL BOTTOM IN ALL RETENTION BASINS AT ELEVATIONS SHOWN ON THE PLANS. SLOPE PROTECTION SHALL BE APPLIED TO PREVENT EROSION.
- GRADES SHOWN IN RETENTION BASINS ARE DESIGN FINISHED GRADES. SHOULD THE CONTRACTOR OR ANY SUBCONTRACTOR PLAN TO PLACE SPOIL DIRT FROM FOOTINGS, UTILITY TRENCHES, LANDSCAPING, SWIMMING POOLS, ETC. IN THE BASINS, THEN THE BASINS SHOULD BE SUFFICIENTLY OVER-EXCAVATED DURING THE ROUGH GRADING OPERATION TO ALLOW FOR THE PLACEMENT OF THE FILL OR LANDSCAPING MATERIALS.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND CONFIRMING DEPTHS OF ALL THE EXISTING UTILITY LINES WITHIN PROPOSED RETENTION BASIN AREAS. IF THE BASIN CANNOT BE CONSTRUCTED PER PLAN BECAUSE OF CONFLICTS, THE CONTRACTOR SHOULD DISCUSS MODIFICATION OF BASIN CONFIGURATION WITH THE CITY INSPECTOR TO DETERMINE IF A PLAN REVISION OR A FIELD CHANGE IS REQUIRED.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
- RETENTION BASIN SIDE SLOPES SHALL BE A MAXIMUM OF 4:1 UNLESS APPROVAL IS RECEIVED FROM THE PLAN REVIEWER FOR A STEEPER SLOPE.
- ALL KNOWN EXISTING UNDERGROUND UTILITIES WITHIN PROPOSED RETENTION AREAS HAVE BEEN DESIGNED TO MAINTAIN A MINIMUM 15" OF COVER OVER CITY OWNED UTILITY LINES AND THE MINIMUM SPECIFIED BY OTHER UTILITY OWNERS.
- REQUIRED RETAINING WALLS SHOWN ON THE GRADING AND DRAINAGE PLANS ARE TO BE REVIEWED, PERMITTED AND INSPECTED BY THE BUILDING SAFETY BRANCH OF THE DEVELOPMENT SERVICES DEPARTMENT.
- CERTIFICATE OF OCCUPANCY (C. OF O.) AND/OR FINAL ELECTRICAL CLEARANCE FOR ANY BUILDING IS DENIED UNTIL ALL GRADING AND DRAINAGE IMPROVEMENTS ARE COMPLETED.
- ALL EXISTING OR NEWLY DAMAGED AND/ OR DISPLACED CONCRETE CURB, CUTTER, SIDEWALK, OR DRIVEWAY SLAB THAT IS WITHIN THE RIGHT-OF-WAY SHALL BE REPAIRED OR RELOCATED BEFORE FINAL ACCEPTANCE OF THE WORK.
- THE ENGINEERING DESIGN ON THESE PLANS ARE ONLY APPROVED BY THE CITY IN SCOPE AND NOT IN DETAIL. CONSTRUCTION QUANTITIES ON THESE PLANS ARE NOT VERIFIED BY THE CITY. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
- THE CITY OF PHOENIX POLICE DEPARTMENT ENFORCES LAWS REGULATING THE OPERATION OF COMMERCIAL VEHICLES. THIS INCLUDED ENFORCEMENT OF FEDERAL, STATE, COUNTY, AND LOCAL LAWS AND ORDINANCES. QUESTIONS REGARDING COMMERCIAL ENFORCEMENT MAY BE DIRECTED TO THE COMMERCIAL VEHICLE ENFORCEMENT SUPERVISOR AT (602) 495-7813 (TRAFFIC BUREAU VEHICLE SOUTH) OR (602) 495-6784 TRAFFIC BUREAU NORTH).
- ALL RAMPS MUST MEET ADA ACCESSIBILITY GUIDELINES (ADAAG) STANDARDS; 2% MAX CROSS SLOPES AND 12:1 MAX LONGITUDINAL SLOPES. TRUNCATED DOMES AS DETECTABLE WARNING ARE REQUIRED ON ALL ON-SITE RAMPS PER ADAAG SECTION 4.7.7. TRUNCATED DOMES AS DETECTABLE WARNINGS ARE ALSO REQUIRED ON ALL ON-SITE WALKS THAT CROSS OR ADJOIN A VEHICULAR WAY PER ADAAG SECTION 4.29.5.
- SHOULD RETENTION BASINS FAIL TO DRAIN WITHIN 36 HRS, THE OWNER IS RESPONSIBLE FOR INSTALLING ADDITIONAL DRYWELLS.
- PROVIDE A LETTER FROM THE PROPERTY-OWNER THAT ACKNOWLEDGES, ACCEPTS AND AGREES TO DISCLOSE TO TENANTS/LESSEES ALL RESPONSIBILITY AND LIABILITY THAT GRADING AND DRAINAGE PLAN USES A DESIGN FOR THE 100-YEAR, 6-HOUR STORM EVENT THAT ALLOWS THE OFF-SITE STORM WATER DRAINING THROUGH THE SITE TO POND IN THE PARKING LOTS AT THE PEAK FLOW TO A MAXIMUM DEPTH OF 2.5 FEET AT THE LOWEST CATCH BASIN.
- AN "ELEVATION CERTIFICATE" MUST BE COMPLETED FOR EACH STRUCTURE CONSTRUCTED IN THE SFHA PRIOR TO THE ELECTRICAL CLEARANCE FOR THAT STRUCTURE. ONE COPY OF THE "ELEVATION CERTIFICATE" IS TO BE SUBMITTED TO THE GENERAL BUILDING SAFETY INSPECTOR ON SITE AND ONE COPY IS TO BE SUBMITTED TO THE CITY OF PHOENIX FLOOD PLAIN MANAGER. SEE CITY CODE AND FEDERAL CODE FOR A COMPLETE LIST OF REQUIREMENTS. SHOW THE LIMITS OF THE FLOODPLAIN AND BASE FLOOD ELEVATIONS ON THE SITE PLAN AND GRADING AND DRAINAGE PLAN.

# LEGACY VILLAGE

## N.W.C. 24TH STREET & BASELINE ROAD

### PHOENIX, ARIZONA

#### GRADING & DRAINAGE PLAN



**KEY MAP**  
N.T.S.

**SHEET INDEX**

C1.1	COVER SHEET
C1.2 - C1.16	GRADING & DRAINAGE PLANS
C1.17 - C1.18	DETAIL SHEETS

**LEGEND**

x 1181.28	EXISTING ELEVATION
- 1172	EXISTING CONTOUR
P=	FINISH PAVEMENT ELEVATION
TC=	FINISH TOP OF CURB ELEVATION
SW=	FINISH SIDEWALK ELEVATION
FG=	FINISH GRADE
GR=	TOP OF GRATE ELEVATION
F/L=	FLOW LINE
INV=	PIPE INVERT
TW=	TOP OF WALL ELEVATION
(P=)	FUTURE PAVEMENT ELEVATION
- 71.50	FINISH CONTOUR
F.F.E.=	FINISH FLOOR ELEVATION
2%	DIRECTION & SLOPE OF DRAINAGE
G.B.	GRADE BREAK
HWE=	HIGHWATER ELEVATION
100 C.F.	RETENTION BASIN VOLUME
BOT=	BASIN BOTTOM GRADE
BFE=	BASE FLOOD ELEVATION

**FLOOD PLAIN DESIGNATION**

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) MAP NUMBER 04013C2145G, REVISED JULY 19, 2001, A SMALL PORTION OF THE NORTHEAST CORNER OF THE SITE IS DESIGNATED AS A ZONE "A" FLOOD HAZARD AREA. ZONE "A" IS DEFINED AS AN AREA OF 100-YEAR FLOOD WITH NO BASE FLOOD ELEVATIONS DETERMINED.

THE REMAINDER OF THE PROJECT SITE FALLS WITHIN A ZONE "X" DEFINED AS "AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN ONE SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD".

BASED ON IMPROVED SITE CONDITIONS A CONTINGENT LETTER OF MAP REVISION (LOMR) APPLICATION IS BEING SUBMITTED TO FEMA. THE ZONE "A" FLOOD HAZARD AREA WILL BE REPLACED WITH A CONTINGENT BASE FLOOD ELEVATION RELATIVE TO THIS PROJECT. THE BASE FLOOD ELEVATION IS ESTABLISHED BY USING THE HIGHEST TOP OF BANK ELEVATION (1172.14) ON THE EXISTING WESTERN CANAL ADJACENT TO THIS SITE

**TARGET** REVIEWED BY:

Site Development Manager	Review and Resubmit	Not Reviewed	Approved
Project Architect	Review and Resubmit	Not Reviewed	Approved
Project Engineer (M)	Review and Resubmit	Not Reviewed	Approved
Project Engineer (E)	Review and Resubmit	Not Reviewed	Approved
Project Engineer (S)	Review and Resubmit	Not Reviewed	Approved

Approved only for conformances of the site construction documents to Target (Developer) Guide, Edition 2.2 and the Target building documents. Consultant is solely responsible for completeness, accuracy, and dimensions on the site construction documents.

**AS-BUILT CERTIFICATION**

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

**JAMES B. FLACK** Nov 11 2003  
REGISTERED LAND SURVEYOR DATE

35694  
REGISTRATION NUMBER

**NOTE:**  
As-built Certification is for Major 1 and Shops A pad construction only.

**CITY OF PHOENIX**

THESE PLANS HAVE BEEN APPROVED BY THE DEVELOPMENT SERVICES DEPARTMENT FOR THE ISSUANCE OF THE FOLLOWING PERMIT(S):

GRADING	PH	DATE
SWAMP	PH	DATE
PAVING	PH	DATE
CONCRETE	PH	DATE
DRAIN FAC.	PH	DATE
WATER	PH	DATE
WASTEWATER	PH	DATE
MISC.	PH	DATE

**BENCHMARK**

BENCHMARK IS C.O.P. BRASS CAP IN HAND HOLE FLUSH AT THE INTERSECTION OF 20TH STREET AND BASELINE ROAD. ELEVATION = 1186.98 FEET CITY OF PHOENIX DATUM

**BASIS OF BEARING**

BASIS OF BEARING IS S89°41'30"W ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 34.

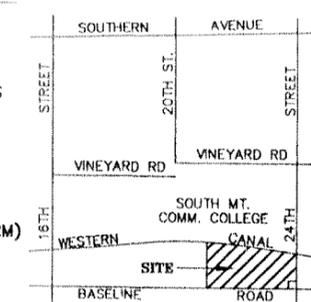
**EARTHWORK (UNADJUSTED)**

FILL = 58,165 CY  
CUT = 49,794 CY  
NET = 8,371 CY (IMPORT)

APPROXIMATE SITE AREA = 38 ACRES

**Retention Calculations**

$V_R = 7200 \text{ CIA}$   
 $C = 0.90 \text{ (COMMERCIAL)}$   
 $I = 1.25 \text{ (100-YEAR, 2-HOUR STORM)}$   
 $A = 41.03 \text{ ACRES}$   
 $V_R = 7200(0.90)(1.25)(41.03)$   
 $V_R = 332,343 \text{ CF}$   
 $V_P = 402,788 \text{ CF}$



**LEGAL DESCRIPTION**

That portion of the Southeast quarter of Section 34, Township 1 North, Range 3 East of the Gila and Salt River Meridian, Maricopa County, Arizona, lying southerly of the southerly right of way line of the Western canal, described as follows:

Commencing at a City of Phoenix brass cap in hand hole marking the South quarter corner of said Section 34, from which a City of Phoenix brass cap in hand hole marking the Southeast corner of said Section 34, bears North 89 degrees 41 minutes 30 seconds East a distance of 2630.05 feet;

Thence North 89 degrees 41 minutes 30 seconds East, along the south line of said Southeast quarter, a distance of 470.79 feet to the POINT OF BEGINNING;

Thence North 00 degrees 18 minutes 30 seconds West, leaving said south line, a distance of 990.66 feet to said southerly right of way line of the Western canal;

Thence South 83 degrees 20 minutes 46 seconds East, along said southerly line, a distance of 163.14 feet;

Thence South 83 degrees 51 minutes 32 seconds East, along said southerly line, a distance of 633.27 feet to the beginning of a non-tangent curve concave to the northeast having a radius of 11492.19 feet, the center of which bears North 06 degrees 33 minutes 30 seconds East;

Thence easterly along said curve and said southerly line through a central angle of 01 degree 16 minutes 53 seconds an arc length of 257.03 feet;

Thence North 00 degrees 18 minutes 30 seconds West, along said southerly line, a distance of 3.00 feet to the beginning of a non-tangent curve concave to the northeast having a radius of 11489.19 feet, the center of which bears North 05 degrees 16 minutes 53 seconds East;

Thence easterly along said curve and said southerly line through a central angle of 04 degrees 23 minutes 53 seconds an arc length of 881.92 feet to a point of tangency;

Thence South 89 degrees 07 minutes 00 seconds East, along said southerly line, a distance of 166.12 feet to the centerline of 24th Street;

Thence South 00 degrees 49 minutes 48 seconds West, along said centerline, a distance of 552.33 feet;

Thence South 89 degrees 41 minutes 30 seconds West, leaving said westerly line, a distance of 240.19 feet;

Thence South 00 degrees 49 minutes 21 seconds West a distance of 267.11 feet to the centerline of Baseline Road also being the south line of said Southeast quarter;

Thence South 89 degrees 41 minutes 30 seconds West, along said south line, a distance of 1836.52 feet to the POINT OF BEGINNING.

These plans have been approved by the Development Services Department for the issuance of the following permit(s):

Grading	564	PH	Date	11/11/03
SWAMP		PH	Date	
Paving		PH	Date	
Concrete		PH	Date	
Drain. Fac.		PH	Date	
Water		PH	Date	
Wastewater		PH	Date	
Misc		PH	Date	

**OWNER**

PEDERSON GROUP, INC.  
2800 N. CENTRAL AVENUE, SUITE 1500  
PHOENIX, ARIZONA 85004  
PHONE: (602) 265-2888

**ARCHITECT**

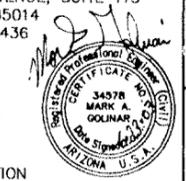
BUTLER DESIGN GROUP  
3020 E. CAMELBACK ROAD, SUITE 215  
PHOENIX, ARIZONA 85016  
PHONE: (602) 957-1800

**ENGINEER**

CMX, L.L.C.  
1515 E. MISSOURI AVENUE, SUITE 115  
PHOENIX, ARIZONA 85014  
PHONE: (602)279-8436

PROJECT ENGINEER:  
MARK A. GOLINAR  
AZ. REG. NO. 34578

PROJECT COORDINATION  
GEORGE SWARSTAD



**CMX**  
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1515 E. MISSOURI STE. 115  
PHOENIX, AZ 85014  
PHONE: (602) 279-8436  
FAX: (602) 265-1191  
www.cmxinc.com

**LEGACY VILLAGE**  
2140 E. BASELINE ROAD  
PHOENIX, ARIZONA

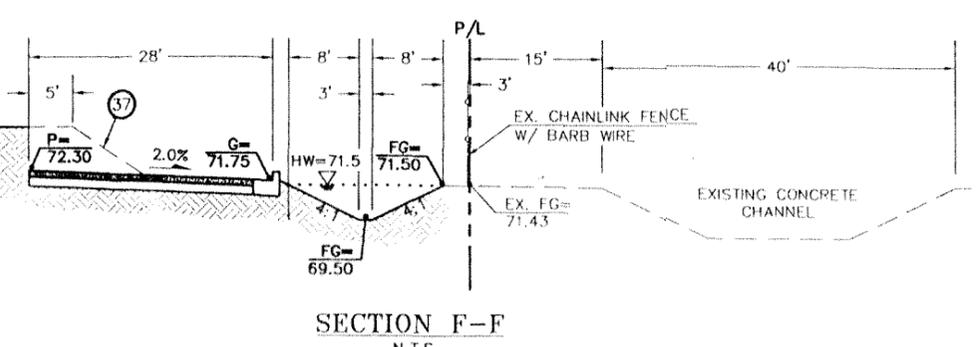
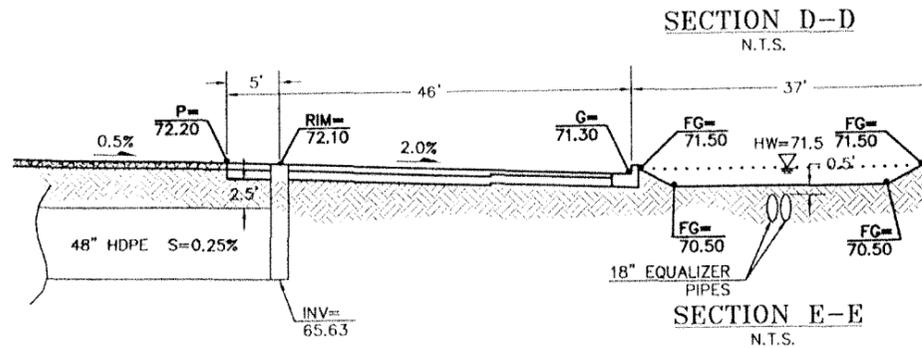
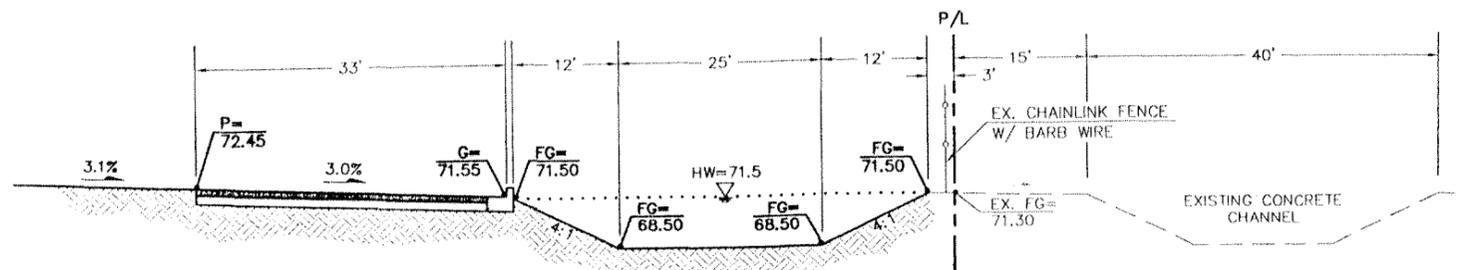
**GRADING & DRAINAGE PLAN**  
COVER SHEET

DATE: 08-23-03 (SCALE: AS NOTED)  
DESIGNED: MG  
DRAWN: DB  
REV. 10-28-03 SITE PLAN REVISIONS

SDEV# 0201305 Q.S.# 1-32 CCPR #0204250

DWG. NO. **C1.1**  
SHT. 1 OF 18

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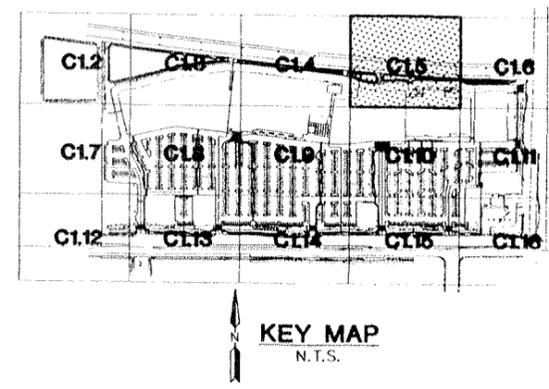


**TARGET**

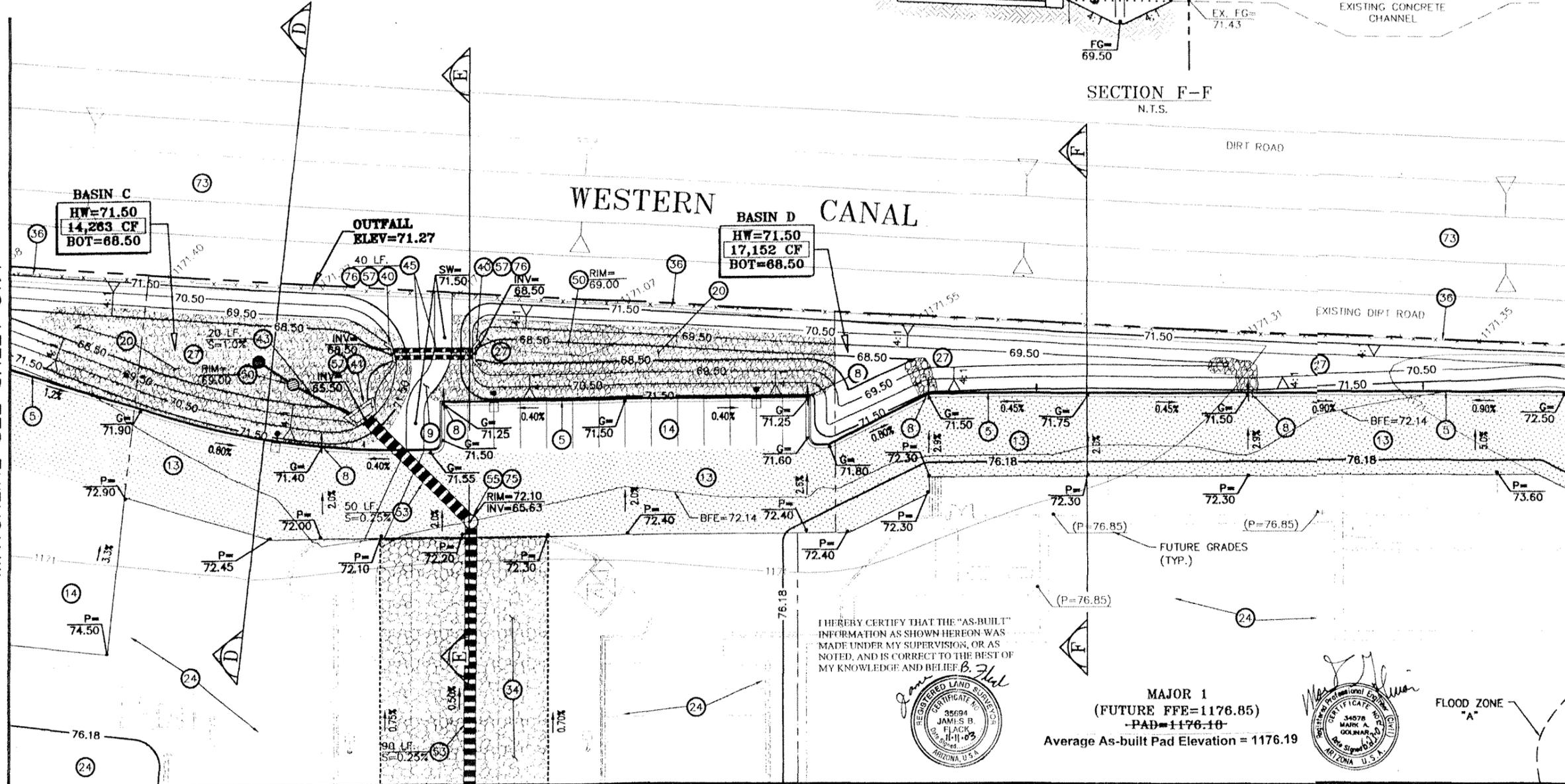
REVIEWED BY:

Site Development Manager	Revise and Resubmit	Not Reviewed	Approved
Project Architect	Revise and Resubmit	Not Reviewed	Approved
Project Engineer (M)	Revise and Resubmit	Not Reviewed	Approved
Project Engineer (E)	Revise and Resubmit	Not Reviewed	Approved
Project Engineer (S)	Revise and Resubmit	Not Reviewed	Approved

Approved only for confirmation of the site construction documents to Target Developer Guide, Edition 2.2 and the Target building documents. Consultant is solely responsible for completeness, accuracy, and dimensions on the site construction documents.



- GRADING AND DRAINAGE NOTES**
- 5 CONSTRUCT CURB & GUTTER PER MAG STD. DET. 220 TYPE A.
  - 8 CONSTRUCT CURB OPENING & RIP-RAP PER DETAIL ON SHEET C1.17.
  - 9 CONSTRUCT SIDEWALK PER C.O.P. STD. DET. P1230 - 2% MAX CROSS SLOPES, 5% MAX LONGITUDINAL (TYPICAL).
  - 13 CONSTRUCT PAVEMENT IN HEAVY TRAFFIC AREAS PER TYPICAL PAVEMENT SECTION ON SHEET C1.17.
  - 14 CONSTRUCT PAVEMENT IN LIGHT TRAFFIC AREAS PER TYPICAL PAVEMENT SECTION ON SHEET C1.17.
  - 20 INSTALL RIP-RAP PER DETAIL ON SHT C1.17 (REFER TO L/S PLANS FOR MATERIAL SPECS).
  - 24 FUTURE PAD SHALL BE COVERED WITH 1" OF D/G FOR DUST PROOFING.
  - 25 "FUTURE PAD" SITE PLAN SHALL BE SUBMITTED TO THE CITY OF PHOENIX ENGINEERING DEPARTMENT FOR APPROVAL PRIOR TO ISSUANCE OF BUILDING PERMIT FOR "FUTURE PAD" BUILDING.
  - 27 LANDSCAPE - SEE LANDSCAPE PLANS FOR DETAILS.
  - 34 STABILIZED DECOMPOSED GRANITE - REFER TO LANDSCAPE PLANS FOR DETAILS.
  - 36 REMOVE EXISTING CHAINLINK FENCE.
  - 37 CONSTRUCT ENGINEERED PAD PER SOILS REPORT TO 5 FEET BEYOND BUILDING LIMITS.
  - 40 CONSTRUCT HEADWALL PER MAG STD. DET. 501-1 "U" TYPE.
  - 41 CONSTRUCT REVERSE DROP STRUCTURE PER DETAIL SHEET C1.6.
  - 43 INSTALL 6" HDPE STORM DRAIN PIPE.
  - 45 INSTALL 18" HDPE STORM DRAIN PIPE.
  - 50 INSTALL MAXWELL DRYWELL PLUS PER DETAIL ON SHEET C1.17. PROVIDE BORE DEPTH TO CITY INSPECTOR.
  - 53 INSTALL 48" HDPE STORM DRAIN PIPE.
  - 55 INSTALL STORM DRAIN MANHOLE PER MAG STD. DET. 520. (BASE SECTION)
  - 57 INSTALL INLET TRASH RACK PER MAG STD. DETS. 502-1 & 502-2.
  - 73 EXISTING IMPROVEMENTS TO REMAIN UNDISTURBED.
  - 75 INSTALL STORM DRAIN MANHOLE SHAFT PER MAG STD. DET. 522.
  - 76 INSTALL HANDRAIL PER PHX. STD. DET. P-1173.



I HEREBY CERTIFY THAT THE "AS-BUILT" INFORMATION AS SHOWN HEREON WAS MADE UNDER MY SUPERVISION, OR AS NOTED, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



MAJOR 1  
(FUTURE FFE=1176.85)  
-PAD=1176.10  
Average As-built Pad Elevation = 1176.19



FLOOD ZONE "A"

**LEGACY VILLAGE**  
2140 E. BASELINE ROAD  
PHOENIX, ARIZONA

**GRADING & DRAINAGE PLAN**

**CMX** CMX PROJ. 6758  
DATE: 06-23-03  
SCALE: AS NOTED

DESIGNED: MG DRAWN: DB APPROVED: MG

REV. \_\_\_\_\_ DWG. NO. **C1.5**

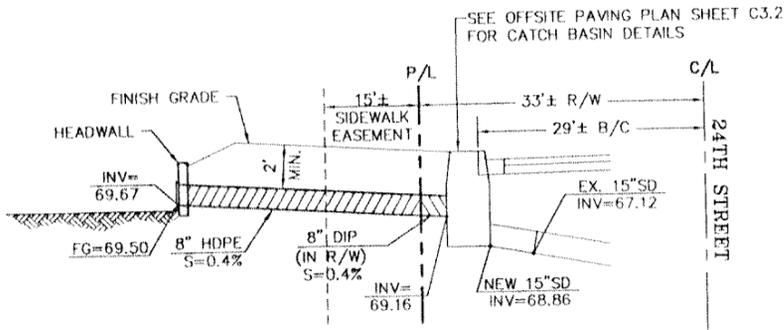
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MATCHLINE SEE SHEET C1.4

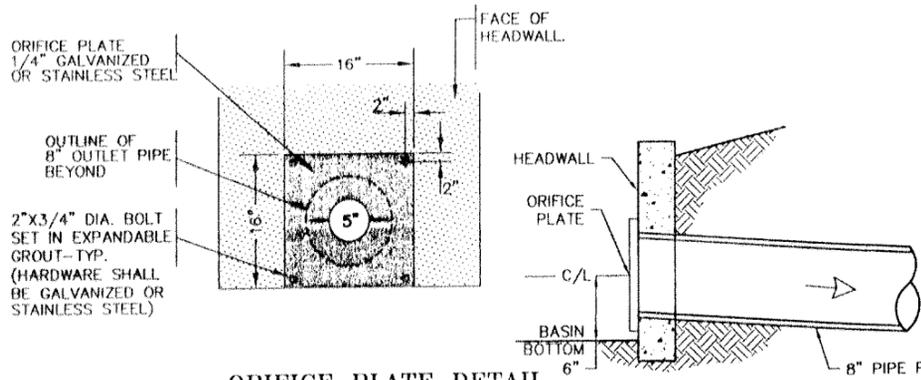
MATCHLINE SEE SHEET C1.6

MATCHLINE SEE SHEET C1.10

SDEV# 0201305 Q.S.# 1-32 CCPR #0204250 IFA# 02-2951



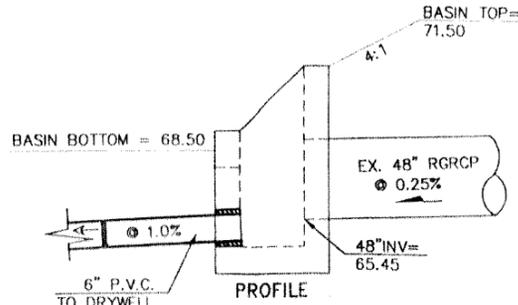
STORM DRAIN PIPE DETAIL  
N.T.S.



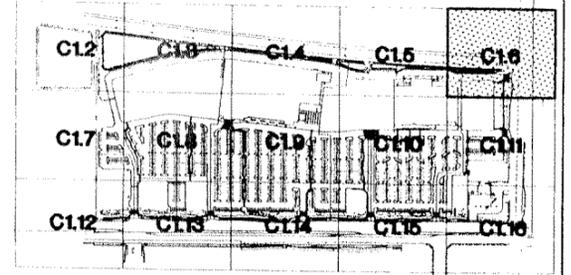
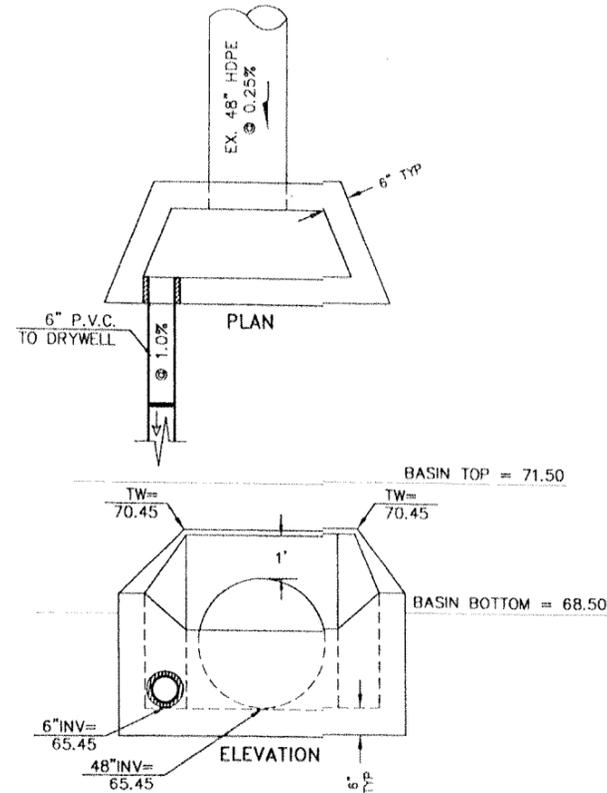
ORIFICE PLATE DETAIL  
N.T.S.



I HEREBY CERTIFY THAT THE "AS-BUILT" INFORMATION AS SHOWN HEREON WAS MADE UNDER MY SUPERVISION, OR AS NOTED, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



REVERSE DROP INLET  
PER MAG 501-5 MODIFIED  
N.T.S.



KEY MAP  
N.T.S.

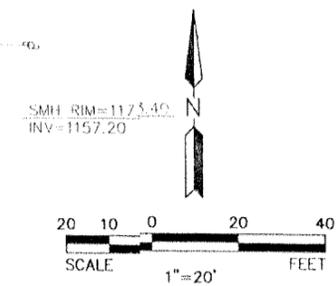
GRADING AND DRAINAGE NOTES

- 5 CONSTRUCT CURB & GUTTER PER MAG STD. DET. 220 TYPE A.
- 8 CONSTRUCT CURB OPENING & RIP-RAP PER DETAIL ON SHEET C1.17.
- 9 CONSTRUCT SIDEWALK PER C.O.P. STD. DET. P1230 - 2% MAX CROSS SLOPES, 5% MAX LONGITUDINAL (TYPICAL).
- 10 CONSTRUCT SIDEWALK RAMP - SEE SHEET C1.17 FOR DETAILS.
- 13 CONSTRUCT PAVEMENT IN HEAVY TRAFFIC AREAS PER TYPICAL PAVEMENT SECTION ON SHEET C1.17.
- 14 CONSTRUCT PAVEMENT IN LIGHT TRAFFIC AREAS PER TYPICAL PAVEMENT SECTION ON SHEET C1.17.
- 17 SCREEN WALL - SEE ARCHITECTS PLANS FOR DETAILS.
- 20 INSTALL RIP-RAP PER DETAIL ON SHT C1.17 (REFER TO L/S PLANS FOR MATERIAL SPECS).
- 23 CONSTRUCT EXTRUDED CONCRETE CURB PER SHEET C1.17.
- 24 FUTURE PAD SHALL BE COVERED WITH 1" OF D/G FOR DUST PROOFING.
- 25 "FUTURE PAD" SITE PLAN SHALL BE SUBMITTED TO THE CITY OF PHOENIX ENGINEERING DEPARTMENT FOR APPROVAL PRIOR TO ISSUANCE OF BUILDING PERMIT FOR "FUTURE PAD" BUILDING.
- 27 LANDSCAPE - SEE LANDSCAPE PLANS FOR DETAILS.
- 36 REMOVE EXISTING CHAINLINK FENCE.
- 40 CONSTRUCT HEADWALL PER MAG STD. DET. 501-1 "U" TYPE.
- 43 INSTALL 6" HDPE STORM DRAIN PIPE.
- 44 INSTALL 8" HDPE STORM DRAIN PIPE.
- 50 INSTALL MAXWELL DRYWELL PLUS PER DETAIL ON SHEET C1.17. PROVIDE BORE DEPTH TO CITY INSPECTOR.
- 54 CONNECT TO NEW CATCH BASIN. SEE OFFSITE PAVING PLAN SHT. C3.2 FOR CATCH BASIN DETAILS.
- 56 PLUG FOR FUTURE USE PER MAG STD DET. 427.
- 57 INSTALL INLET TRASH RACK PER MAG STD. DETS. 502-1 & 502-2.
- 58 CONSTRUCT ORIFICE PLATE PER DETAIL THIS SHEET.

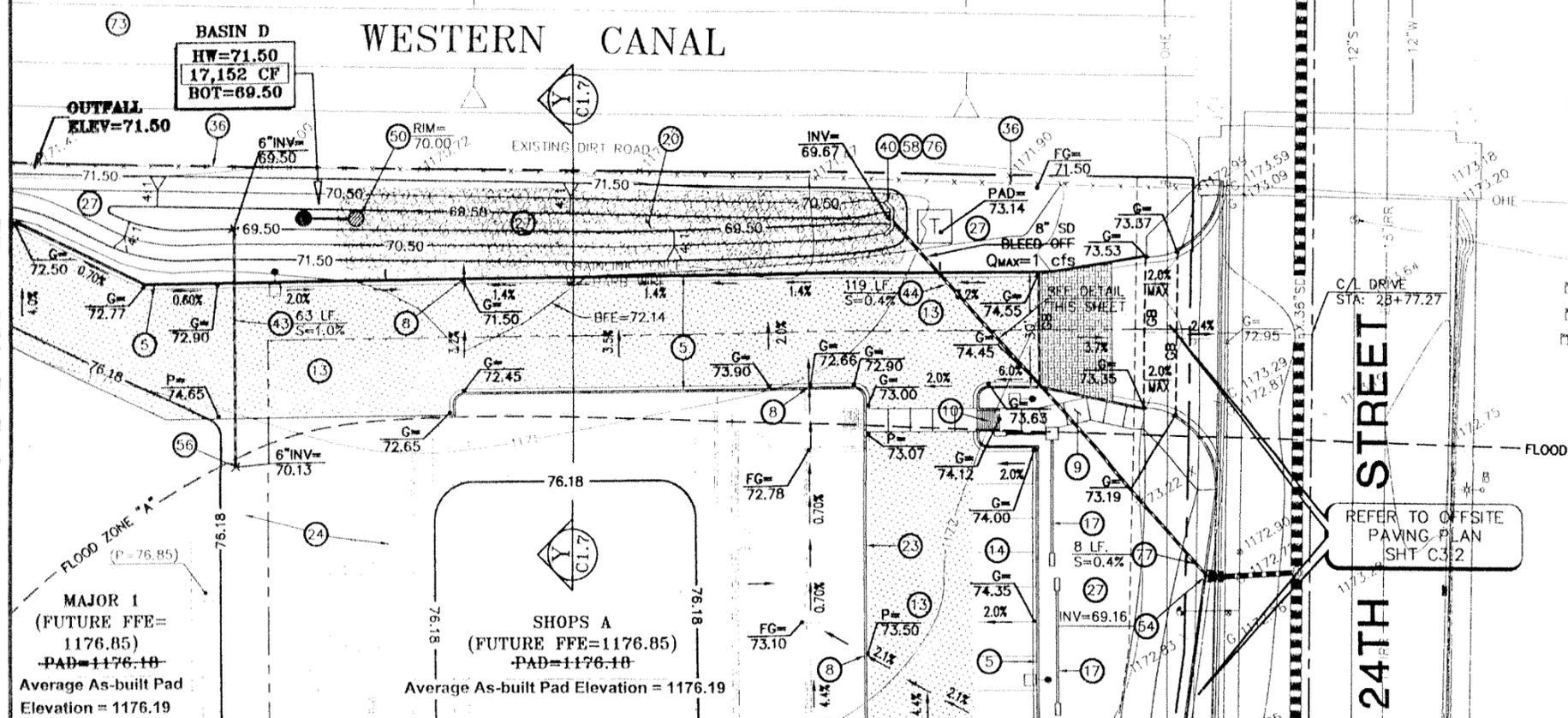
**TARGET** REVIEWED BY:

Site Development Manager	Reviewed and Resubmitted	Not Reviewed	Approved
Project Architect	Reviewed and Resubmitted	Not Reviewed	Approved
Project Engineer (M)	Reviewed and Resubmitted	Not Reviewed	Approved
Project Engineer (E)	Reviewed and Resubmitted	Not Reviewed	Approved
Project Engineer (S)	Reviewed and Resubmitted	Not Reviewed	Approved

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- GRADING AND DRAINAGE NOTES
- 73 EXISTING IMPROVEMENTS TO REMAIN UNDISTURBED.
  - 76 INSTALL HANDRAIL PER PHX. STD. DET. P-1173.
  - 77 INSTALL 8" DUCTILE IRON PIPE WITHIN RIGHT-OF-WAY.



MATCHLINE SEE SHEET C1.5

MATCHLINE SEE SHEET C1.11

**LEGACY VILLAGE**  
2140 E. BASELINE ROAD  
PHOENIX, ARIZONA

**GRADING & DRAINAGE PLAN**

**CMX** CMX PROJ. 6758  
DATE: 06-23-03  
SCALE: AS NOTED

DESIGNED: MG DRAWN: DB APPROVED: MG

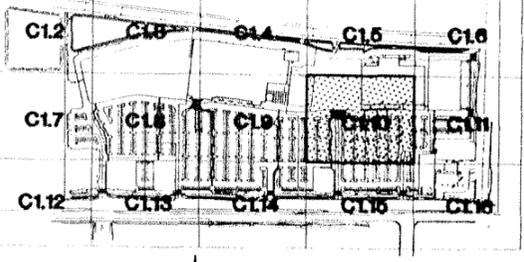
REV. \_\_\_\_\_ DWG. NO. **C1.6**  
SHT. 6 OF 18

KIVA# 02-2951 SDEV# 0201305 Q.S.# 1-32 CCPR #0204250

<b>TARGET</b>	REVIEWED BY:
Site Development Manager	_____
Project Architect	_____
Project Engineer (M)	_____
Project Engineer (E)	_____
Project Engineer (S)	_____

**MAJOR 1**  
 (FUTURE FFE=1176.85)  
 PAD=1176.10  
 Average As-built Pad Elevation = 1176.19

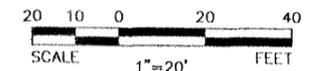
I HEREBY CERTIFY THAT THE "AS BUILT" INFORMATION AS SHOWN HEREFON WAS MADE UNDER MY SUPERVISION, OR AS NOTED, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



**KEY MAP**  
N.T.S.

**GRADING AND DRAINAGE NOTES**

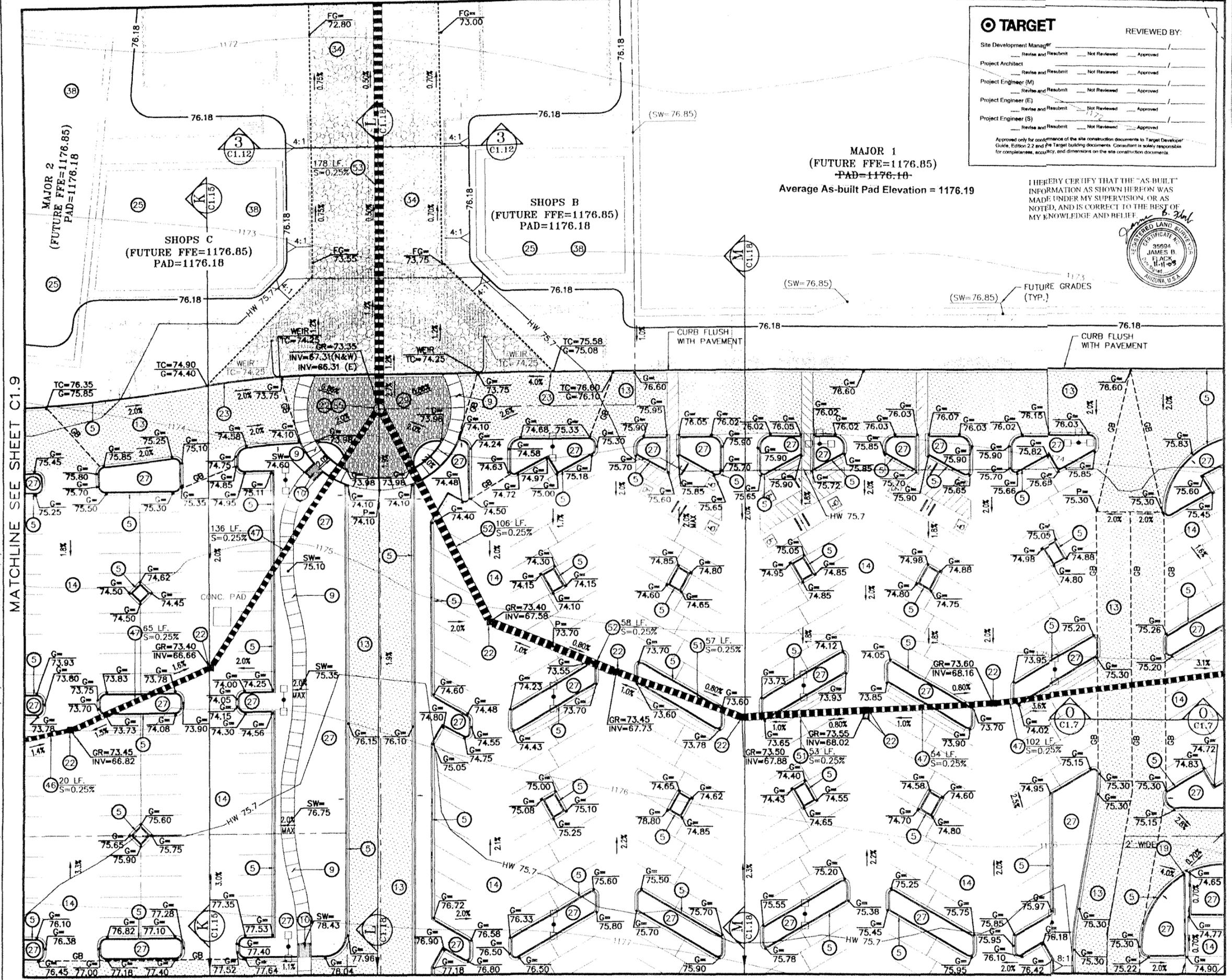
- 5) CONSTRUCT CURB & GUTTER PER MAG STD. DET. 220 TYPE A.
- 9) CONSTRUCT SIDEWALK PER C.O.P. STD. DET. P1230 - 2% MAX CROSS SLOPES, 5% MAX LONGITUDINAL (TYPICAL).
- 10) CONSTRUCT SIDEWALK RAMP - SEE SHEET C1.17 FOR DETAILS.
- 13) CONSTRUCT PAVEMENT IN HEAVY TRAFFIC AREAS PER TYPICAL PAVEMENT SECTION ON SHEET C1.17.
- 14) CONSTRUCT PAVEMENT IN LIGHT TRAFFIC AREAS PER TYPICAL PAVEMENT SECTION ON SHEET C1.17.
- 19) CONSTRUCT CONCRETE CHANNEL PER DETAIL ON SHEET C1.17.
- 22) CONSTRUCT CATCH BASIN PER MAG STD. DET. 535 TYPE F.
- 23) CONSTRUCT EXTRUDED CONCRETE CURB PER SHEET C1.17.
- 24) FUTURE PAD SHALL BE COVERED WITH 1" OF D/G FOR DUST PROOFING.
- 25) "FUTURE PAD" SITE PLAN SHALL BE SUBMITTED TO THE CITY OF PHOENIX ENGINEERING DEPARTMENT FOR APPROVAL PRIOR TO ISSUANCE OF BUILDING PERMIT FOR "FUTURE PAD" BUILDING.
- 27) LANDSCAPE - SEE LANDSCAPE PLANS FOR DETAILS.
- 29) DECORATIVE "PAVESTONE" PAVERS - SEE ARCHITECTS PLANS FOR DETAILS.
- 34) STABILIZED DECOMPOSED GRANITE - REFER TO LANDSCAPE PLANS FOR DETAILS.
- 37) CONSTRUCT ENGINEERED PAD PER SOILS REPORT TO 5 FEET BEYOND BUILDING LIMITS.
- 38) ROUGH GRADE FUTURE BUILDING PAD ONLY.
- 46) INSTALL 24" HDPE STORM DRAIN PIPE.
- 47) INSTALL 30" HDPE STORM DRAIN PIPE.
- 51) INSTALL 36" HDPE STORM DRAIN PIPE.
- 52) INSTALL 42" HDPE STORM DRAIN PIPE.
- 53) INSTALL 48" HDPE STORM DRAIN PIPE.
- 55) INSTALL STORM DRAIN MANHOLE PER MAG STD. DET 520. (BASE SECTION)



**LEGACY VILLAGE**  
 2140 E. BASELINE ROAD  
 PHOENIX, ARIZONA

**GRADING & DRAINAGE PLAN**

CMX PROJ. 6758  
 DATE: 06-23-03  
 SCALE: AS NOTED  
 DESIGNED: MG    DRAWN: DB    APPROVED: MG  
 REV. \_\_\_\_\_  
 DWG. NO. **C1.10**  
 SHT. 10 OF 18

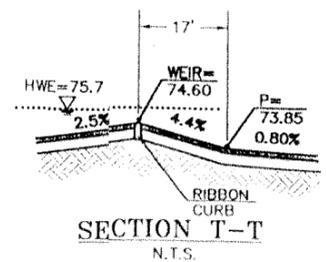
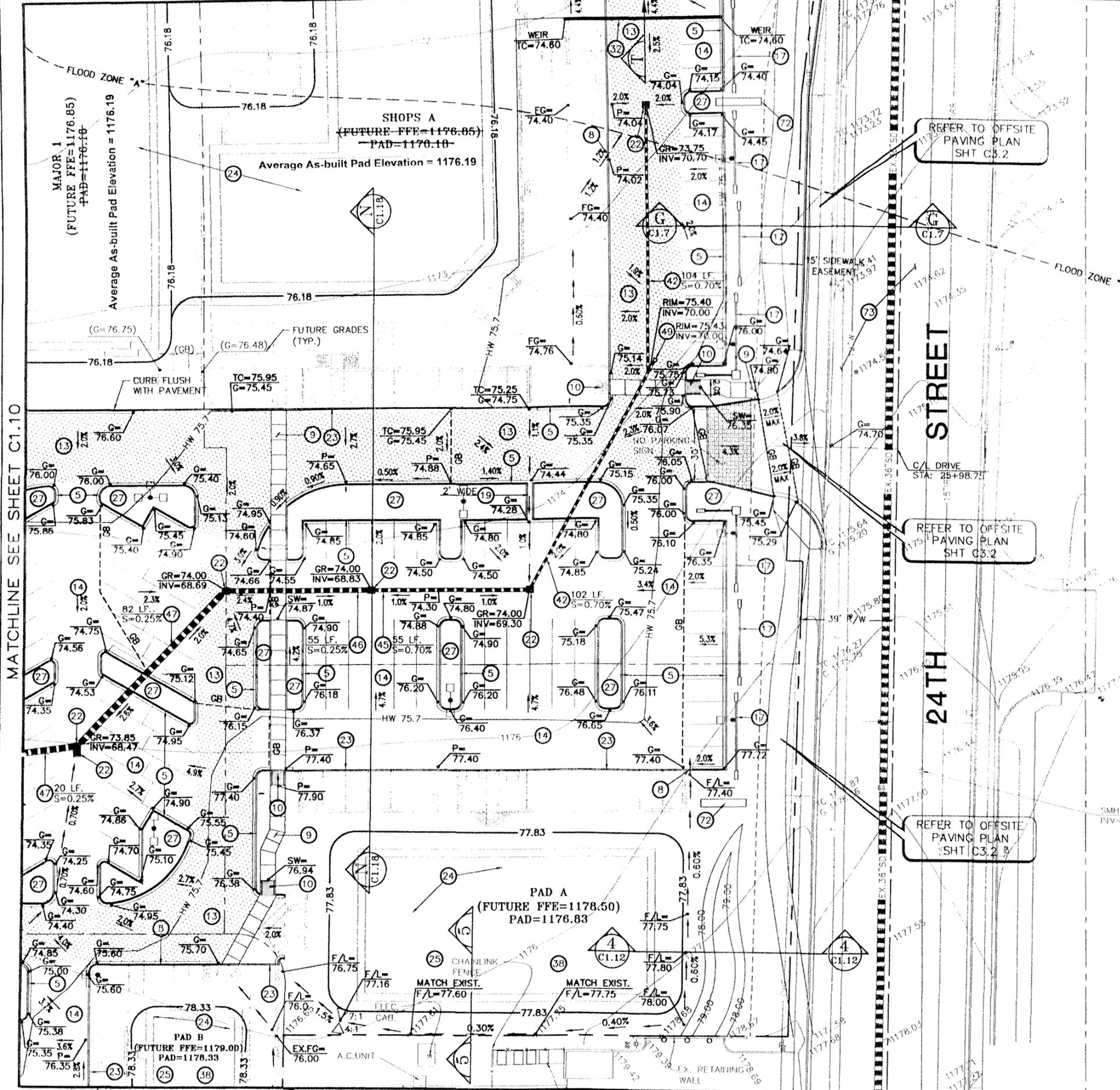


MATCHLINE SEE SHEET C1.9

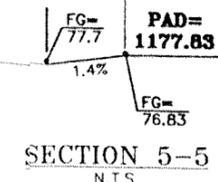
MATCHLINE SEE SHEET C1.11

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KIVA # 02-2951    SDEV # 0201305    Q.S.# 1-32    CCPR #0204250



SECTION T-T  
N.T.S.



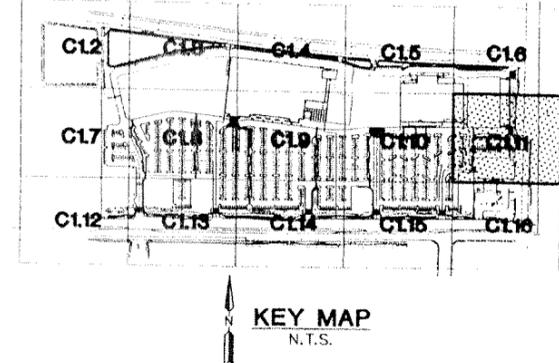
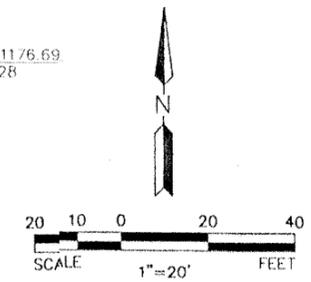
SECTION 5-5  
N.T.S.

I HEREBY CERTIFY THAT THE "AS-BUILT" INFORMATION AS SHOWN HEREON WAS MADE UNDER MY SUPERVISION, OR AS NOTED, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



TARGET		REVIEWED BY:
Site Development Manager	Revise and Resubmit / Not Reviewed / Approved	/
Project Architect	Revise and Resubmit / Not Reviewed / Approved	/
Project Engineer (M)	Revise and Resubmit / Not Reviewed / Approved	/
Project Engineer (E)	Revise and Resubmit / Not Reviewed / Approved	/
Project Engineer (S)	Revise and Resubmit / Not Reviewed / Approved	/

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GRADING AND DRAINAGE NOTES

- 5 CONSTRUCT CURB & GUTTER PER MAG STD. DET. 220 TYPE A.
- 8 CONSTRUCT CURB OPENING & RIP-RAP PER DETAIL ON SHEET C1.17.
- 9 CONSTRUCT SIDEWALK PER C.O.P. STD. DET. P12.30 - 2% MAX CROSS SLOPES, 5% MAX LONGITUDINAL (TYPICAL).
- 10 CONSTRUCT SIDEWALK RAMP - SEE SHEET C1.17 FOR DETAILS.
- 13 CONSTRUCT PAVEMENT IN HEAVY TRAFFIC AREAS PER TYPICAL PAVEMENT SECTION ON SHEET C1.17.
- 14 CONSTRUCT PAVEMENT IN LIGHT TRAFFIC AREAS PER TYPICAL PAVEMENT SECTION ON SHEET C1.17.
- 17 SCREEN WALL - SEE ARCHITECTS PLANS FOR DETAILS.
- 19 CONSTRUCT CONCRETE CHANNEL PER DETAIL ON SHEET C1.17.
- 22 CONSTRUCT CATCH BASIN PER MAG STD. DET. 535 TYPE F.
- 23 CONSTRUCT EXTRUDED CONCRETE CURB PER SHEET C1.17.
- 24 FUTURE PAD SHALL BE COVERED WITH 1" OF D/G FOR DUST PROOFING.
- 25 "FUTURE PAD" SITE PLAN SHALL BE SUBMITTED TO THE CITY OF PHOENIX ENGINEERING DEPARTMENT FOR APPROVAL PRIOR TO ISSUANCE OF BUILDING PERMIT FOR "FUTURE PAD" BUILDING.
- 27 LANDSCAPE - SEE LANDSCAPE PLANS FOR DETAILS.
- 32 CONSTRUCT RIBBON CURB PER MAG STD. DET. 220 TYPE B.
- 37 CONSTRUCT ENGINEERED PAD PER SOILS REPORT TO 5 FEET BEYOND BUILDING LIMITS.
- 38 ROUGH GRADE FUTURE BUILDING PAD ONLY.
- 42 INSTALL 12" HDPE STORM DRAIN PIPE.
- 45 INSTALL 18" HDPE STORM DRAIN PIPE.
- 46 INSTALL 24" HDPE STORM DRAIN PIPE.
- 47 INSTALL 30" HDPE STORM DRAIN PIPE.
- 49 INSTALL STORM DRAIN CLEANOUT PER MAG STD. DET. 441.
- 72 MONUMENT SIGN - SEPARATE PLAN & PERMIT.
- 73 EXISTING IMPROVEMENTS TO REMAIN UNDISTURBED.

**LEGACY VILLAGE**  
2140 E. BASELINE ROAD  
PHOENIX, ARIZONA

**GRADING & DRAINAGE PLAN**

DESIGNED: MG	DRAWN: DB	APPROVED: MG
REV.		DWG. NO.
		<b>C1.11</b>
		SHT. 11 OF 18

CMX PROJ. 6758  
DATE: 06-23-03  
SCALE: AS NOTED

MATCHLINE SEE SHEET C1.10

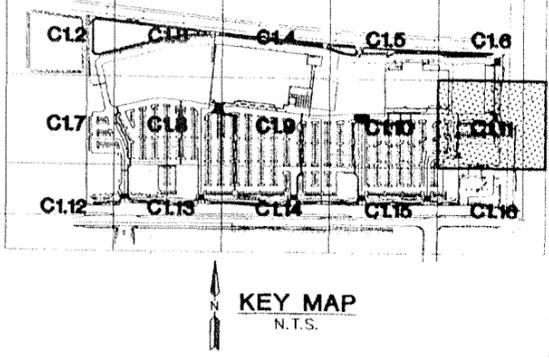
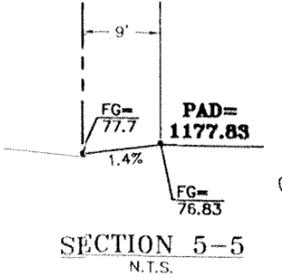
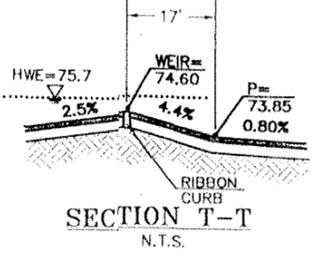
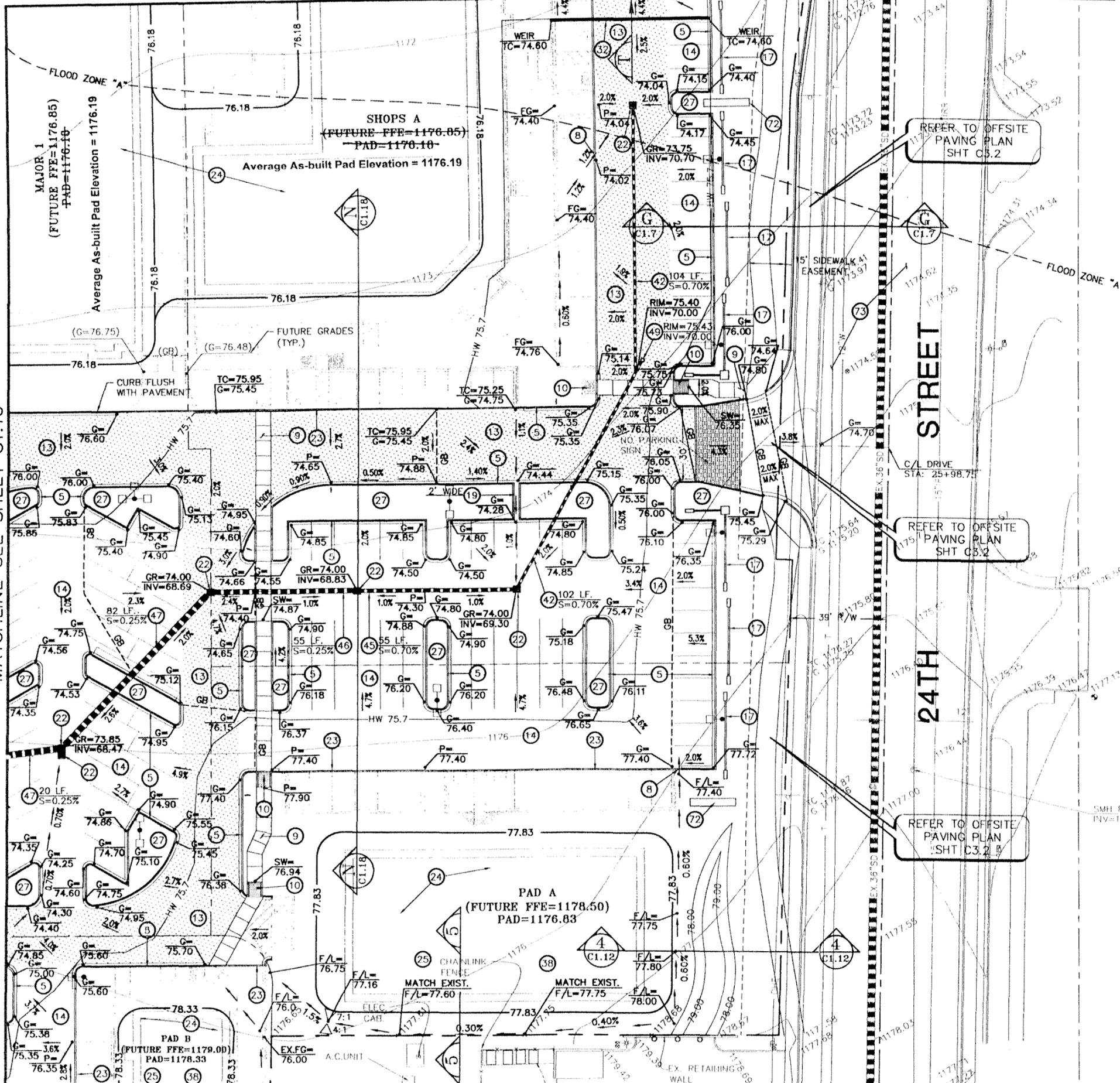
MATCHLINE SEE SHEET C1.16

KIVA# 02-2951 SDEV# 0201305 Q.S.# 1-32 CCPR #0204250

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6/23/2003 10:46:06 AM, CMX EMPLOYEE

MATCHLINE SEE SHEET C1.10



GRADING AND DRAINAGE NOTES

- 5 CONSTRUCT CURB & GUTTER PER MAG STD. DET. 220 TYPE A.
- 8 CONSTRUCT CURB OPENING & RIP-RAP PER DETAIL ON SHEET C1.17.
- 9 CONSTRUCT SIDEWALK PER C.O.P. STD. DET. P1230 - 2% MAX CROSS SLOPES, 5% MAX LONGITUDINAL (TYPICAL).
- 10 CONSTRUCT SIDEWALK RAMP - SEE SHEET C1.17 FOR DETAILS.
- 13 CONSTRUCT PAVEMENT IN HEAVY TRAFFIC AREAS PER TYPICAL PAVEMENT SECTION ON SHEET C1.17.
- 14 CONSTRUCT PAVEMENT IN LIGHT TRAFFIC AREAS PER TYPICAL PAVEMENT SECTION ON SHEET C1.17.
- 17 SCREEN WALL - SEE ARCHITECTS PLANS FOR DETAILS.
- 19 CONSTRUCT CONCRETE CHANNEL PER DETAIL ON SHEET C1.17.
- 22 CONSTRUCT CATCH BASIN PER MAG STD. DET. 535 TYPE F.
- 23 CONSTRUCT EXTRUDED CONCRETE CURB PER SHEET C1.17.
- 24 FUTURE PAD SHALL BE COVERED WITH 1" OF D/G FOR DUST PROOFING.
- 25 "FUTURE PAD" SITE PLAN SHALL BE SUBMITTED TO THE CITY OF PHOENIX ENGINEERING DEPARTMENT FOR APPROVAL PRIOR TO ISSUANCE OF BUILDING PERMIT FOR "FUTURE PAD" BUILDING.
- 27 LANDSCAPE - SEE LANDSCAPE PLANS FOR DETAILS.
- 32 CONSTRUCT RIBBON CURB PER MAG STD. DET. 220 TYPE B.
- 37 CONSTRUCT ENGINEERED PAD PER SOILS REPORT TO 5 FEET BEYOND BUILDING LIMITS.
- 38 ROUGH GRADE FUTURE BUILDING PAD ONLY.
- 42 INSTALL 12" HDPE STORM DRAIN PIPE.
- 45 INSTALL 18" HDPE STORM DRAIN PIPE.
- 46 INSTALL 24" HDPE STORM DRAIN PIPE.
- 47 INSTALL 30" HDPE STORM DRAIN PIPE.
- 49 INSTALL STORM DRAIN CLEANOUT PER MAG STD. DET. 441.
- 72 MONUMENT SIGN - SEPARATE PLAN & PERMIT.
- 73 EXISTING IMPROVEMENTS TO REMAIN UNDISTURBED.

I HEREBY CERTIFY THAT THE "AS-BUILT" INFORMATION AS SHOWN HEREON WAS MADE UNDER MY SUPERVISION, OR AS NOTED, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

TARGET

REVIEWED BY:

Site Development Manager:  Not Reviewed  Approved

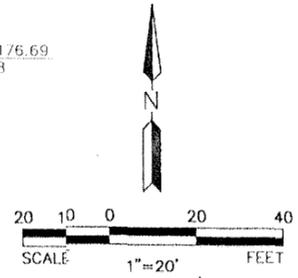
Project Architect:  Not Reviewed  Approved

Project Engineer (M):  Not Reviewed  Approved

Project Engineer (E):  Not Reviewed  Approved

Project Engineer (S):  Not Reviewed  Approved

Approved only for conformance of the site construction documents to Target Developer Guide, Edition 2.2 and the Target Building documents. Consultant is solely responsible for completeness, accuracy, and dimensions on the site construction documents.



**LEGACY VILLAGE**  
2140 E. BASELINE ROAD  
PHOENIX, ARIZONA

GRADING & DRAINAGE PLAN

DESIGNED: MG	DRAWN: DB	APPROVED: MG
REV.		DWG. NO.
		<b>C1.11</b>
		SHT. 11 OF 18

70016758 P:\proj\03-6758-GD C1.7-C1.11.dwg, 6/23/2003 10:48:36 AM, CMX EMPLOYEE  
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KIVA# 02-2951 SDEV# 0201305 Q.S.# 1-32 CCPR #0204250



## Appendix D

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JOINS PANEL 2610

NATIONAL FLOOD INSURANCE PROGRAM

**FIRM**  
FLOOD INSURANCE RATE MAP  
MARICOPA COUNTY,  
ARIZONA AND  
INCORPORATED AREAS

PANEL 2145 OF 4350  
(SEE MAP INDEX FOR PANELS NOT PRINTED)

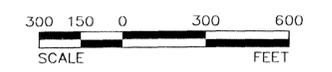
CONTAINS:	NUMBER	PANEL	SUFFIX
COMMUNITY			
PHOENIX, CITY OF	040051	2145	0

MAP NUMBER  
04013C2145 G

MAP REVISED:  
JULY 19, 2001



Federal Emergency Management Agency



**LEGACY VILLAGE**  
NWC 24TH STREET & BASELINE ROAD  
PHOENIX, ARIZONA

FEMA FLOODPLAIN EXHIBIT

	CMX PROJ. 6758
	DATE: 4/18/03
	SCALE: 1"=300'

DESIGNED: PLG	DRAWN: JAR	APPROVED: PLG
REV.		DWG. NO.
		<b>1</b>
SHT. 1 OF 1		

September 4, 2003

Mr. Sam Morris  
Infrastructure Dynamics, Inc.  
2020 S. McClintock Dr., Suite 109  
Tempe, Arizona 85282

**RE: Grading Report  
Fry's - Major 1  
Legacy Village  
NWC 24th Street & Baseline Rd.  
Phoenix, Arizona  
Project No. 021340TA**

Dear Mr. Morris:

At your request, we have performed field density tests on subgrade and compacted fill within the building pad at the referenced site. Details of the operations were presented in the Daily Field Reports and laboratory and field test data, copies of which have been previously transmitted to all concerned parties.

A soils investigation has been performed for this project by Speedie and Associates, Inc., Project No. 021340SA dated December 31, 2002. To the best of our professional opinion, the requirements of the soil investigation report and addenda, including the limitations contained therein, have been met. A guarantee that the contractor has necessarily performed this work in full accord with the plans and specifications is neither intended nor implied.

Based upon our observations of earthwork operations, it is our professional opinion that the compacted fill is suitable for the support of shallow footings placed at a minimum depth of 18 inches below exterior finished grade and designed on the basis of a net allowable bearing capacity of 2,500 pounds per square foot.

If you have any questions or need additional assistance, please do not hesitate to call.

Respectfully submitted,

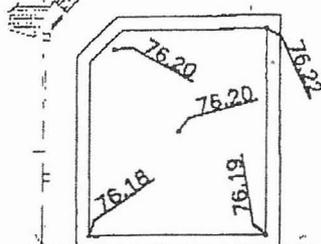
SPEEDIE & ASSOCIATES

Jason C. Wells, P.E.

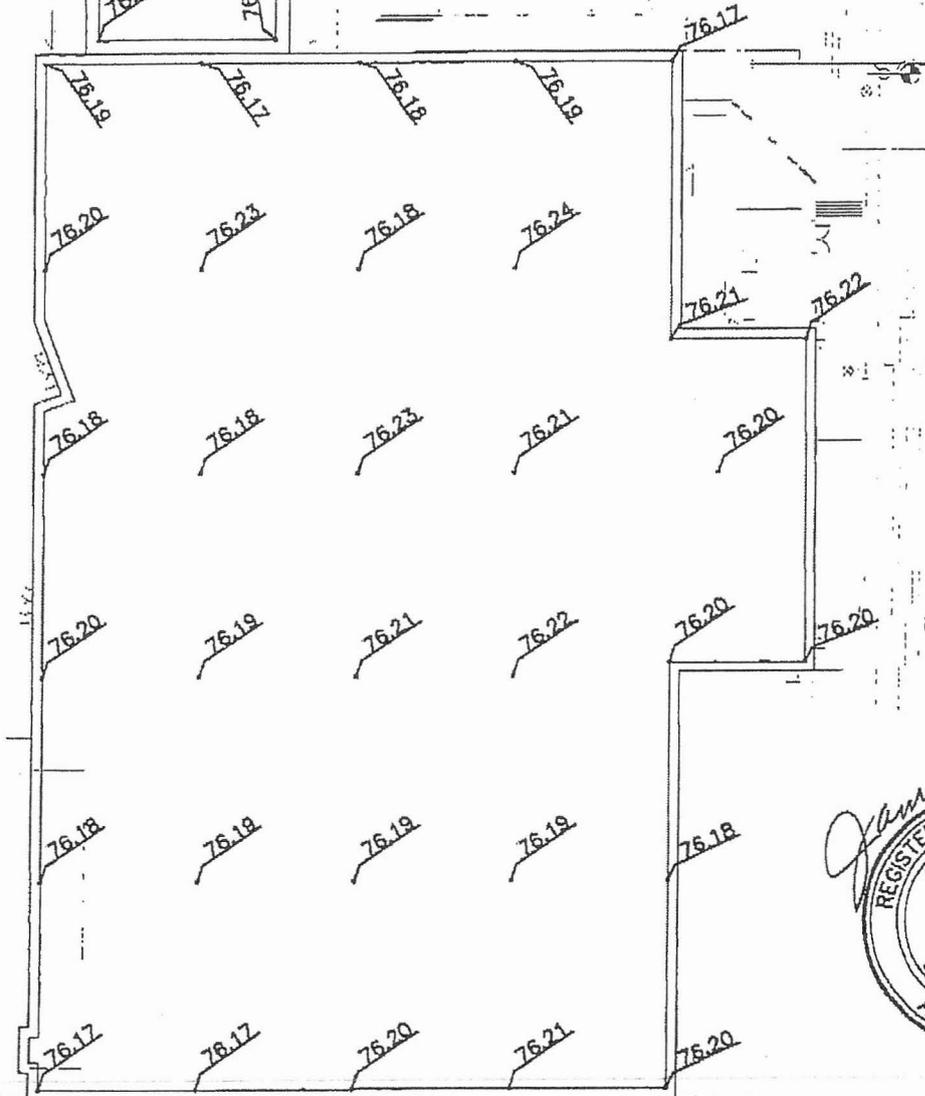


# BUILDING PAD CERTIFICATION

FRY'S - LEGACY VILLAGE  
PHOENIX, ARIZONA



1"=50'



*James B. Flack*  
 REGISTERED LAND SURVEYOR  
 CERTIFICATE NO. 35694  
 JAMES B. FLACK  
 9-11-03  
 Date Signed  
 ARIZONA, U.S.A.

**BENCHMARK INFO:**  
 CITY OF PHOENIX BRASS CAP FLUSH AT  
 INTERSECTION OF 20TH ST & BASELINE  
 ROAD. ELEV=1186.98 (COP DATUM)

PROPOSED PAD ELEV: 1176.18  
 AVG. PAD ELEV: 1176.19

SCI JOB# 16470  
 SHEET 1 OF 1 DATE: 9-11-03



**Stanley Consultants INC.** A Stanley Group Company  
 Engineering, Environmental and Construction Services - Worldwide

Gregg A. Creaser, P.E.  
Brett P. Creaser, P.E.  
Donald L. Cornelison, P.E.  
Steven A. Grless, P.E.  
Keith R. Gravel, P.E.  
Jason C. Wells, P.E.  
Timothy J. Rheinschmidt, R.G.

September 4, 2003

Mr. Sam Morris  
Infrastructure Dynamics, Inc.  
2020 S. McClintock Dr., Suite 109  
Tempe, Arizona 85282

**RE: Grading Report  
Shops A  
Legacy Village  
NWC 24th Street & Baseline Rd.  
Phoenix, Arizona  
Project No. 021340TA**

Dear Mr. Morris:

At your request, we have performed field density tests on subgrade and compacted fill within the building pad at the referenced site. Details of the operations were presented in the Daily Field Reports and laboratory and field test data, copies of which have been previously transmitted to all concerned parties.

A soils investigation has been performed for this project by Speedie and Associates, Inc., Project No. 021340SA dated December 31, 2002. To the best of our professional opinion, the requirements of the soil investigation report and addenda, including the limitations contained therein, have been met. A guarantee that the contractor has necessarily performed this work in full accord with the plans and specifications is neither intended nor implied.

Based upon our observations of earthwork operations, it is our professional opinion that the compacted fill is suitable for the support of shallow footings placed at a minimum depth of 18 inches below exterior finished grade and designed on the basis of a net allowable bearing capacity of 2,500 pounds per square foot.

If you have any questions or need additional assistance, please do not hesitate to call.

Respectfully submitted,

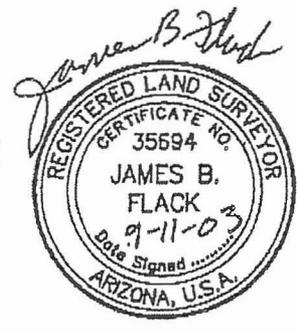
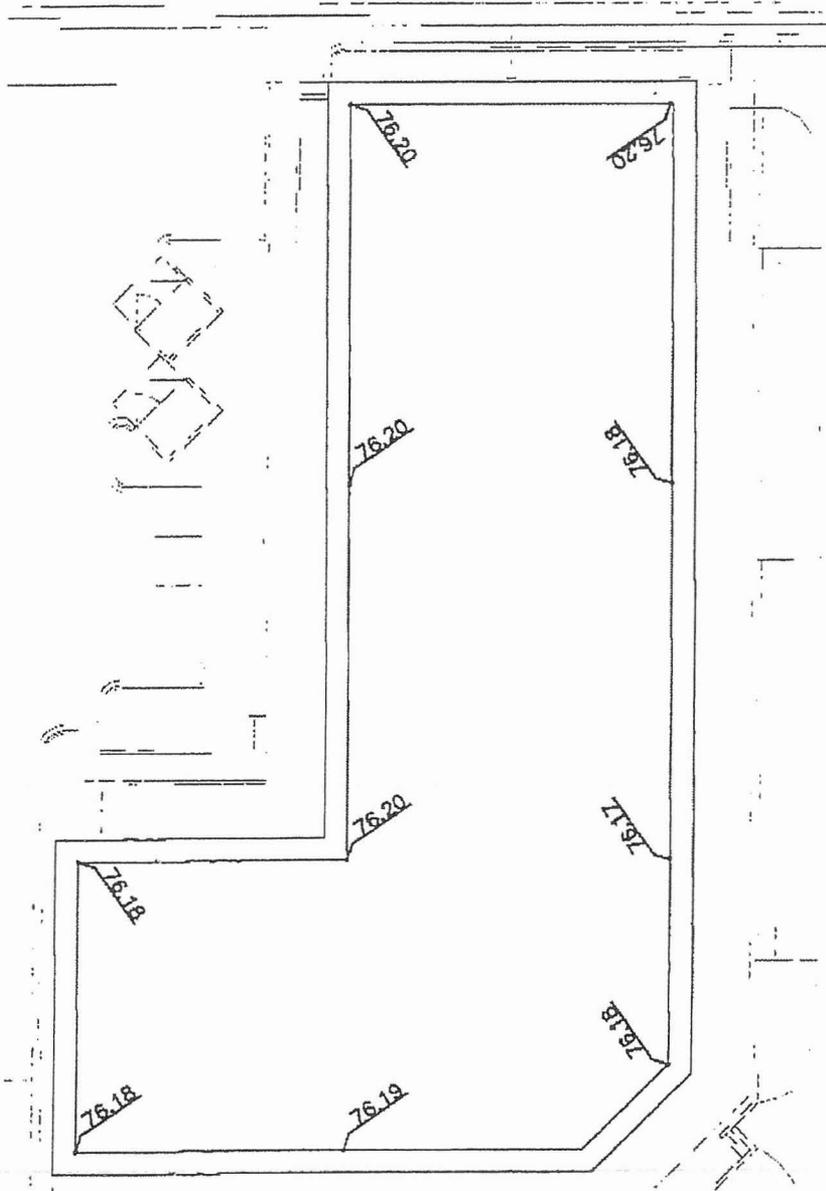
SPEEDIE & ASSOCIATES

Jason C. Wells, P.E.



# BUILDING PAD CERTIFICATION

SHOPS A - LEGACY VILLAGE  
PHOENIX, ARIZONA



**BENCHMARK INFO:**  
CITY OF PHOENIX BRASS CAP FLUSH AT  
INTERSECTION OF 20TH ST & BASELINE  
ROAD. ELEV=1186.98 (COP DATUM)

PROPOSED PAD ELEV: 1176.18  
AVG. PAD ELEV: 1176.19

SCI JOB# 16470  
SHEET 1 OF 1 DATE: 9-11-03



**Stanley Consultants INC.**  
A Stanley Group Company  
Engineering, Environmental  
and Construction Services - Worldwide

November 18, 2003



Mr. Hasan Mushtaq, Ph.D., P.E., C.F.M.  
Floodplain Manager  
**CITY OF PHOENIX**  
200 West Washington, 2<sup>nd</sup> Floor  
Phoenix, Arizona 85003

**RE: Legacy Village LOMR-F Application – Supporting Information Request**

Dear Mr. Mushtaq:

Pursuant to your request, CMX has provided a copy of the geotechnical data supporting that the fill material has been placed in accordance with standard engineering practice. A total of 15,250 cubic yards of structural fill material was placed and compacted to a minimum dry density and moisture content which exceeds 95% of the Standard Proctor – maximum dry density and optimum moisture content. A certified report prepared by Speedy and Associates shows that a total of 51 nuclear density and moisture tests were performed on the placed fill material. Standard Proctor tests were performed on the two borrow locations (B-8 and B-19) to represent maximum dry density and moisture content for the material used in the fill construction.

External grades to the placed fill material were compacted to an approximate slope of 4H:1V. These grades are consistent with the fill slopes indicated in the City of Phoenix Storm Water Policies and Standards for material placed adjacent to water storage facilities (maximum slope of 4H:1V), given that the Zone A delineation is representative of a pond condition adjacent to the Western Canal.

Based on the review of the soil material test results and the As-Built elevation records for the project site, it is our professional opinion that the fill material has been placed in accordance with City of Phoenix design guidelines. Should you have any questions to the process or require additional information please contact either myself or Paul Goss at 602.567.1900.

Best regards,

**CMX, L.L.C.**

Kevin Kammerzell, P.E.  
Water Resources Group Manager

Attachment

Cc: George Swarstad, Project Manager  
Paul Goss, EIT

Phoenix  
7740 North 14th Street  
Suite 100  
Phoenix, AZ 85020  
P: 602.567.1900  
F: 602.567.1901  
E: info@cmxllc.com

Gilbert  
1095 North McQueen  
Suite 123  
Gilbert, AZ 85234  
P: 480.498.1900  
F: 480.498.1901  
E: info@cmxllc.com

# SPEEDIE AND ASSOCIATES

GEOTECHNICAL/ENVIRONMENTAL/MATERIALS ENGINEERS  
 3331 E. Wood St., Phoenix, Arizona 85040 Telephone (602) 997-6391 Fax (602) 943-5508

## FIELD DENSITY TEST DAILY REPORT

Page 1 of 1

**Project:** Legacy Village  
**Location:** NWC 24<sup>th</sup> Street & Baseline Rd. – Phoenix, AZ  
**Client:** Pederson Group, Inc.  
**Contractor:** Construction 70

**Project Number:** 021340TA  
**Permit No.:**  
**Technician:** Damon Wesson  
**Person Notified of Results:** Bill / Tim (C-70)

**Date:** August 18, 2003  
**Weather:** Clear

Test #	(O) Offsite (S) Site	Elev.	Task #	Test Location	Material	Opt. Moisture	Max. Density	Wet Density	% Moisture	Dry Density	% Comp.	Required Comp.	Test Results
1	S	FS-6.2'	1-A	Shops A – C/L	B-8	12.7	116.8	127.5	13.3	112.5	96.3	95.0	A
2	S	FS-7.1'	1-A	Shops A – 10'W, 100'S of NEC	B-8	12.7	116.8	127.9	10.8	115.4	98.8	95.0	A
3	S	FS-5.1'	1-A	Shops A – 20'N, 20'W of SEC	B-8	12.7	116.8	130.8	13.3	115.4	98.8	95.0	A
4	S	FS-5.2'	1-A	Shops A – 6'N, 33'E of SWC	B-8	12.7	116.8	134.8	12.7	119.6	102.4	95.0	A
5	S	FS-5.6'	1-A	Major 1 – 30'N, 30'E of SWC	B-8	12.7	116.8	127.3	9.9	115.8	99.1	95.0	A
6	S	FS-5.3'	1-A	Major 1 – 150'N, 150'W of SEC	B-8	12.7	116.8	134.8	13.8	118.5	101.5	95.0	A
7	S	FS-6.4'	1-A	Major 1 – 10'S, 17'E of NWC	B-8	12.7	116.8	124.9	11.7	111.8	95.7	95.0	A
8	S	FS-6.7'	1-A	Major 1 – 31'S, 50'W of NEC	B-8	12.7	116.8	128.2	15.8	110.7	95.0	95.0	A
9													
10													

Remarks:

**TASK**

Elevation	Test Area	Test Element
FB – Bottom of Footing	1 Building Pad	7 Apron
FS – Finished Subgrade	2 Parking Lot	8 Curb/Gutter
FG – Finished Grade	3 Driveway	9 Sidewalk
FP – Finished Pavement	4 Landscape Area	10 Water Line Trench
	5 Transformer Pad	11 Fire Line Trench
	6 Roadway	12 Sanitary Sewer Trench
		13 Storm Sewer Trench
		14 Elec. Conduit Trench
		15 Irrigation Trench
		16 Other Trench
		17
		18

A – Approved

NA – Not Approved

\*Rock/Moisture Corrected Value

\*\*Sand Cone Method

**Project:** Legacy Village  
**Location:** NWC 24<sup>th</sup> Street & Baseline Rd. – Phoenix, AZ  
**Client:** Pederson Group, Inc.  
**Contractor:** Construction 70

**Project Number:** 021340TA  
**Permit No.:**  
**Technician:** Damon Wesson  
**Person Notified of Results:** Bill / Tim (C-70)

**Date:** August 19, 2003  
**Weather:** Clear

Test #	(O) Offsite (S) Site	Elev.	Task #	Test Location	Material	Opt. Moisture	Max. Density	Wet Density	% Moisture	Dry Density	% Comp.	Required Comp.	Test Results
1	S	FS-6.1'	2-B	Parking lot C/L between Shops A and Major 1	B-8	12.7	116.8	132.3	10.8	119.4	102.2	95.0	A
2	S	FS-5.2'	2-B	Parking lot C/L between Shops A and Major 1	B-8	12.7	116.8	123.6	9.7	112.7	96.5	95.0	A
3	S	FS-4.1'	2-B	Parking lot C/L between Shops A and Major 1	B-8	12.7	116.8	129.9	10.8	117.2	100.3	95.0	A
4	S	FS-3.2'	2-B	Parking lot C/L between Shops A and Major 1	B-8	12.7	116.8	128.8	12.8	114.2	97.8	95.0	A
5	S	FS-4.3'	1-A	Shops A C/L – 60'N, 10'W of SEC	B-8	12.7	116.8	127.9	11.3	114.9	98.4	95.0	A
6	S	FS-5.1'	1-A	Shops A C/L – 70'S, 10'E of NWC	B-8	12.7	116.8	130.1	13.8	114.3	97.9	95.0	A
7	S	FS-4.4'	1-A	Major 1 – 100'N, 105'E of SWC	B-8	12.7	116.8	127.4	10.7	115.1	98.5	95.0	A
8	S	FS-4.8'	1-A	Major 1 – 5'S, 200'E of NWC	B-8	12.7	116.8	128.4	11.1	115.6	99.0	95.0	A
9	S	FS-5.1'	1-A	Major 1 – 70'S, 300'W of NEC	B-8	12.7	116.8	129.8	13.3	114.6	98.1	95.0	A
10													

Remarks:

TASK												
Elevation	Test Area			Test Element								
FB – Bottom of Footing	1 Building Pad	7 Apron	13 Storm Sewer Trench	A Foundation Over-Ex Backfill	G Select Cap	M Pipe Line/Conduit Bedding						
FS – Finished Subgrade	2 Parking Lot	8 Curb/Gutter	14 Elec. Conduit Trench	B Subgrade Prep	H Underslab Base Course	N Pipe Line/Conduit Shading						
FG – Finished Grade	3 Driveway	9 Sidewalk	15 Irrigation Trench	C Engineered Fill	I Pavement Agg. Base Course	O Trench Backfill						
FP – Finished Pavement	4 Landscape Area	10 Water Line Trench	16 Other Trench	D Structural Backfill	J AC Pavement – Base Lift	P						
	5 Transformer Pad	11 Fire Line Trench	17	E Lime-Stabilized Subgrade	K AC Pavement – Intermed. Lift	Q						
	6 Roadway	12 Sanitary Sewer Trench	18	F Non/Low Expansion Cap	L AC Pavement – Surface Lift	R						

A – Approved

NA – Not Approved

\*Rock/Moisture Corrected Value

\*\*Sand Cone Method

# SPEEDIE AND ASSOCIATES

GEOTECHNICAL/ENVIRONMENTAL/MATERIALS ENGINEERS  
3331 E. Wood St., Phoenix, Arizona 85040 Telephone (602) 977-6371 Fax (602) 943-5593

## FIELD DENSITY TEST DAILY REPORT

Page 1 of 1

**Project:** Legacy Village  
**Location:** NWC 24<sup>th</sup> Street & Baseline Rd. – Phoenix, AZ  
**Client:** Pederson Group, Inc.  
**Contractor:** Construction 70

**Project Number:** 021340TA  
**Permit No.:**  
**Technician:** Damon Wesson  
**Person Notified of Results:** Bill / Tim (C-70)

**Date:** August 20, 2003  
**Weather:** Clear

Test #	(O) Offsite (S) Site	Elev.	Task #	Test Location	Material	Opt. Moisture	Max. Density	Wet Density	% Moisture	Dry Density	% Comp.	Required Comp.	Test Results
1	S	FS-3.6'	2-B	Parking lot C/L between Shops A and Major 1	B-19	9.0	126.0	137.4	13.4	121.2	96.2	95.0	A
2	S	FS-2.8'	2-B	Parking lot C/L between Shops A and Major 1	B-19	9.0	126.0	138.8	12.8	123.0	97.6	95.0	A
3	S	FS-2.5'	2-B	Parking lot C/L between Shops A and Major 1	B-19	9.0	126.0	135.6	9.6	123.7	98.2	95.0	A
4	S	FS-3.4'	1-A	Shops A – 200'S, 15'E of NWC	B-19	9.0	126.0	135.1	10.1	122.7	97.4	95.0	A
5	S	FS-4.6'	1-A	Shops A – 30'N, 20'W of SEC	B-19	9.0	126.0	137.7	13.1	121.8	96.7	95.0	A
6	S	FS-3.6'	1-A	Shops A – 10'S, 20'E of NWC	B-19	9.0	126.0	139.1	14.1	121.9	96.7	95.0	A
7	S	FS-3.7'	1-A	Major 1 – 100'S, 100'E of NWC	B-19	9.0	126.0	137.7	10.7	124.3	98.7	95.0	A
8	S	FS-3.8'	1-A	Major 1 – 100'N, 50'E of SWC	B-19	9.0	126.0	138.4	10.1	125.7	99.8	95.0	A
9	S	FS-4.0'	1-A	Major 1 – 250'N, 60'W of SEC	B-19	9.0	126.0	136.0	10.2	123.4	97.9	95.0	A
10													

Remarks:

TASK											
Elevation	Test Area				Test Element						
FB – Bottom of Footing	1 Building Pad	7 Apron	13 Storm Sewer Trench	A Foundation Over-Ex Backfill	G Select Cap	M Pipe Line/Conduit Bedding					
FS – Finished Subgrade	2 Parking Lot	8 Curb/Gutter	14 Elec. Conduit Trench	B Subgrade Prep	H Underslab Base Course	N Pipe Line/Conduit Shading					
FG – Finished Grade	3 Driveway	9 Sidewalk	15 Irrigation Trench	C Engineered Fill	I Pavement Agg. Base Course	O Trench Backfill					
FP – Finished Pavement	4 Landscape Area	10 Water Line Trench	16 Other Trench	D Structural Backfill	J AC Pavement – Base Lift	P					
	5 Transformer Pad	11 Fire Line Trench	17	E Lime-Stabilized Subgrade	K AC Pavement – Intermed. Lift	Q					
	6 Roadway	12 Sanitary Sewer Trench	18	F Non/Low Expansion Cap	L AC Pavement – Surface Lift	R					

A – Approved

NA – Not Approved

\*Rock/Moisture Corrected Value

\*\*Sand Cone Method

# SPEEDIE AND ASSOCIATES

GEOTECHNICAL/ENVIRONMENTAL/MATERIALS ENGINEERS  
3311 E. Wood St., Phoenix, Arizona 85040 Telephone: (602) 977-6391 Fax: (602) 943-5598

## FIELD DENSITY TEST DAILY REPORT

Page 1 of 1

Project: Legacy Village  
Location: NWC 24<sup>th</sup> Street & Baseline Rd. – Phoenix, AZ  
Client: Pederson Group, Inc.  
Contractor: Construction 70

Project Number: 021340TA  
Permit No.:  
Technician: Damon Wesson  
Person Notified of Results: Bill / Tim (C-70)

Date: August 21, 2003  
Weather: Clear

Test #	(O) Offsite (S) Site	Elev	Task #	Test Location	Material	Opt. Moisture	Max Density	Wet Density	% Moisture	Dry Density	% Comp.	Required Comp.	Test Results
1	S	FS-2.1'	1-A	Shops A – 100'S, 20'W of NEC	B-19	9.0	126.0	134.8	12.2	120.1	95.3	95.0	A
2	S	FS-2.6'	1-A	Shops A – 100'N, 106'W of SEC	B-19	9.0	126.0	136.6	13.3	120.6	95.7	95.0	A
3	S	FS-2.3'	1-A	Shops A – 30'N, 250'E of SWC	B-19	9.0	126.0	134.8	9.8	122.8	97.5	95.0	A
4	S	FS-2.4'	1-A	Major #1 – 40'N of C/L	B-8	12.7	116.8	128.2	15.8	110.7	95.0	95.0	A
5	S	FS-2.5'	1-A	Major #1 – 60'S of C/L	B-8	12.7	116.8	129.9	14.1	113.4	97.1	95.0	A
6	S	FS-2.6'	1-A	Major #1 – 10'N, 80'E of SWC	B-8	12.7	116.8	129.3	14.4	113.0	96.7	95.0	A
7	S	FS-1.4'	2-C	Parking lot between Shops A and Major #1 C/L	B-19	9.0	126.0	138.8	10.8	125.3	99.4	95.0	A
8	S	FS-1.2'	2-C	Parking lot between Shops A and Major #1 - 60'N of C/L	B-19	9.0	126.0	138.1	11.2	124.2	98.6	95.0	A
9	S	FS-1.2'	2-C	Parking lot between Shops A and Major #1 - 60'S of C/L	B-19	9.0	126.0	137.4	13.4	121.2	96.2	95.0	A
10													

Remarks:

TASK									
Elevation	Test Area			Test Element					
FB – Bottom of Footing	1 Building Pad	7 Apron	13 Storm Sewer Trench	A Foundation Over-Ex Backfill	G Select Cap	M Pipe Line/Conduit Bedding			
FS – Finished Subgrade	2 Parking Lot	8 Curb/Gutter	14 Elec. Conduit Trench	B Subgrade Prep	H Underslab Base Course	N Pipe Line/Conduit Shading			
FG – Finished Grade	3 Driveway	9 Sidewalk	15 Irrigation Trench	C Engineered Fill	I Pavement Agg. Base Course	O Trench Backfill			
FP – Finished Pavement	4 Landscape Area	10 Water Line Trench	16 Other Trench	D Structural Backfill	J AC Pavement – Base Lift	P			
	5 Transformer Pad	11 Fire Line Trench	17	E Lime-Stabilized Subgrade	K AC Pavement – Intermed. Lift	Q			
	6 Roadway	12 Sanitary Sewer Trench	18	F Non/Low Expansion Cap	L AC Pavement – Surface Lift	R			

A – Approved

NA – Not Approved

\*Rock/Moisture Corrected Value

\*\*Sand Cone Method

# SPEEDIE AND ASSOCIATES

GEOTECHNICAL/ENVIRONMENTAL/MATERIALS ENGINEERS  
3331 E. Wood St., Phoenix, Arizona 85040 Telephone (602) 977-6391 Fax (602) 943-3508

## FIELD DENSITY TEST DAILY REPORT

Page 1 of 1

**Project:** Legacy Village  
**Location:** NWC 24<sup>th</sup> Street & Baseline Rd. – Phoenix, AZ  
**Client:** Pederson Group, Inc.  
**Contractor:** Construction 70

**Project Number:** 021340TA  
**Permit No.:**  
**Technician:** Damon Wesson  
**Person Notified of Results:** Bill / Tim (C-70)

**Date:** August 22, 2003  
**Weather:** Clear

Test #	(O) Offsite (S) Site	Elev.	Task #	Test Location	Material	Opt. Moisture	Max. Density	Wet Density	% Moisture	Dry Density	% Comp.	Required Comp.	Test Results
1	S	FS-1.0'	1-A	Shops A – 56'N, 56'E of SWC	B-19	9.0	126.0	135.5	9.6	123.6	98.1	95.0	A
2	S	FS-1.2'	1-A	Shops A – 30'N, 30'W of SEC	B-19	9.0	126.0	139.1	14.1	121.9	96.7	95.0	A
3	S	FS-1.1'	1-A	Shops A – 300'S, 60'E of NWC	B-19	9.0	126.0	137.7	13.1	121.8	96.7	95.0	A
4	S	FS-1.1'	1-A	Major #1 – 10'S, 30'E of NWC	B-19	9.0	126.0	137.7	10.7	124.4	98.7	95.0	A
5	S	FS-1.3'	1-A	Major #1 – 30'N, 10'E of SWC	B-19	9.0	126.0	138.4	10.1	125.7	99.8	95.0	A
6	S	FS-1.0'	1-A	Major #1 – 40'W, 40'S of NEC	B-19	9.0	126.0	135.1	12.8	119.8	95.1	95.0	A
7	S	FS-1.2'	1-A	Major #1 – 50'N, 50'W of SEC	B-19	9.0	126.0	130.7	8.9	120.0	95.2	95.0	A
8	S	FS±	2-C	Parking lot between Shops A and Major #1 – 20'N of C/L	B-19	9.0	126.0	130.4	9.0	119.6	95.0	95.0	A
9	S	FS±	2-C	Parking lot between Shops A and Major #1 – 20'S of C/L	B-19	9.0	126.0	135.4	10.0	123.1	97.7	95.0	A
10													

Remarks:

### TASK:

Elevation	Test Area				Test Element			
FB – Bottom of Footing	1 Building Pad	7 Apron	13 Storm Sewer Trench	A Foundation Over-Ex Backfill	G Select Cap	M Pipe Line/Conduit Bedding		
FS – Finished Subgrade	2 Parking Lot	8 Curb/Gutter	14 Elec. Conduit Trench	B Subgrade Prep	H Underslab Base Course	N Pipe Line/Conduit Shading		
FG – Finished Grade	3 Driveway	9 Sidewalk	15 Irrigation Trench	C Engineered Fill	I Pavement Agg. Base Course	O Trench Backfill		
FP – Finished Pavement	4 Landscape Area	10 Water Line Trench	16 Other Trench	D Structural Backfill	J AC Pavement – Base Lift	P		
	5 Transformer Pad	11 Fire Line Trench	17	E Lime-Stabilized Subgrade	K AC Pavement – Intermed. Lift	Q		
	6 Roadway	12 Sanitary Sewer Trench	18	F Non/Low Expansion Cap	L AC Pavement – Surface Lift	R		

A – Approved

NA – Not Approved

\*Rock/Moisture Corrected Value

\*\*Sand Cone Method

# SPEEDIE AND ASSOCIATES

GEOTECHNICAL/ENVIRONMENTAL/MATERIALS ENGINEERS  
3331 E Wood St., Phoenix, Arizona 85040 Telephone (602) 997-6391 Fax (602) 943-5508

## FIELD DENSITY TEST DAILY REPORT

Page 1 of 1

**Project:** Legacy Village  
**Location:** NWC 24<sup>th</sup> Street & Baseline Rd. – Phoenix, AZ  
**Client:** Pederson Group, Inc.  
**Contractor:** Construction 70

**Project Number:** 021340TA  
**Permit No.:**  
**Technician:** Damon Wesson  
**Person Notified of Results:** Bill / Tim (C-70)

**Date:** August 25, 2003  
**Weather:** Clear

Test #	(O) Offsite (S) Site	Elev.	Task #	Test Location	Material	Opt. Moisture	Max. Density	Wet Density	% Moisture	Dry Density	% Comp.	Required Comp.	Test Results
1	S	FS±	1-A	Shops A – 11'N, 11'E of SWC	B-19	9.0	126.0	132.3	10.3	119.9	95.2	95.0	A
2	S	FS±	1-A	Shops A – 15'N, 115'W of SEC	B-19	9.0	126.0	132.9	10.6	120.2	95.4	95.0	A
3	S	FS±	1-A	Shops A – 100'S, 30'E of NWC	B-19	9.0	126.0	136.8	13.3	120.7	95.8	95.0	A
4	S	FS±	1-A	Major #1 – 25'S, 10'E of NWC	B-19	9.0	126.0	133.1	10.5	120.5	95.6	95.0	A
5	S	FS±	1-A	Major #1 – 10'N, 30'E of SWC	B-19	9.0	126.0	135.4	10.2	122.9	97.5	95.0	A
6	S	FS±	1-A	Major #1 – 10'S, 10'W of NEC	B-19	9.0	126.0	132.2	8.6	121.7	96.6	95.0	A
7	S	FS±	1-A	Major #1 – 25'N, 25'W of SEC	B-19	9.0	126.0	135.1	12.1	120.5	95.6	95.0	A
8													
9													
10													

Remarks:

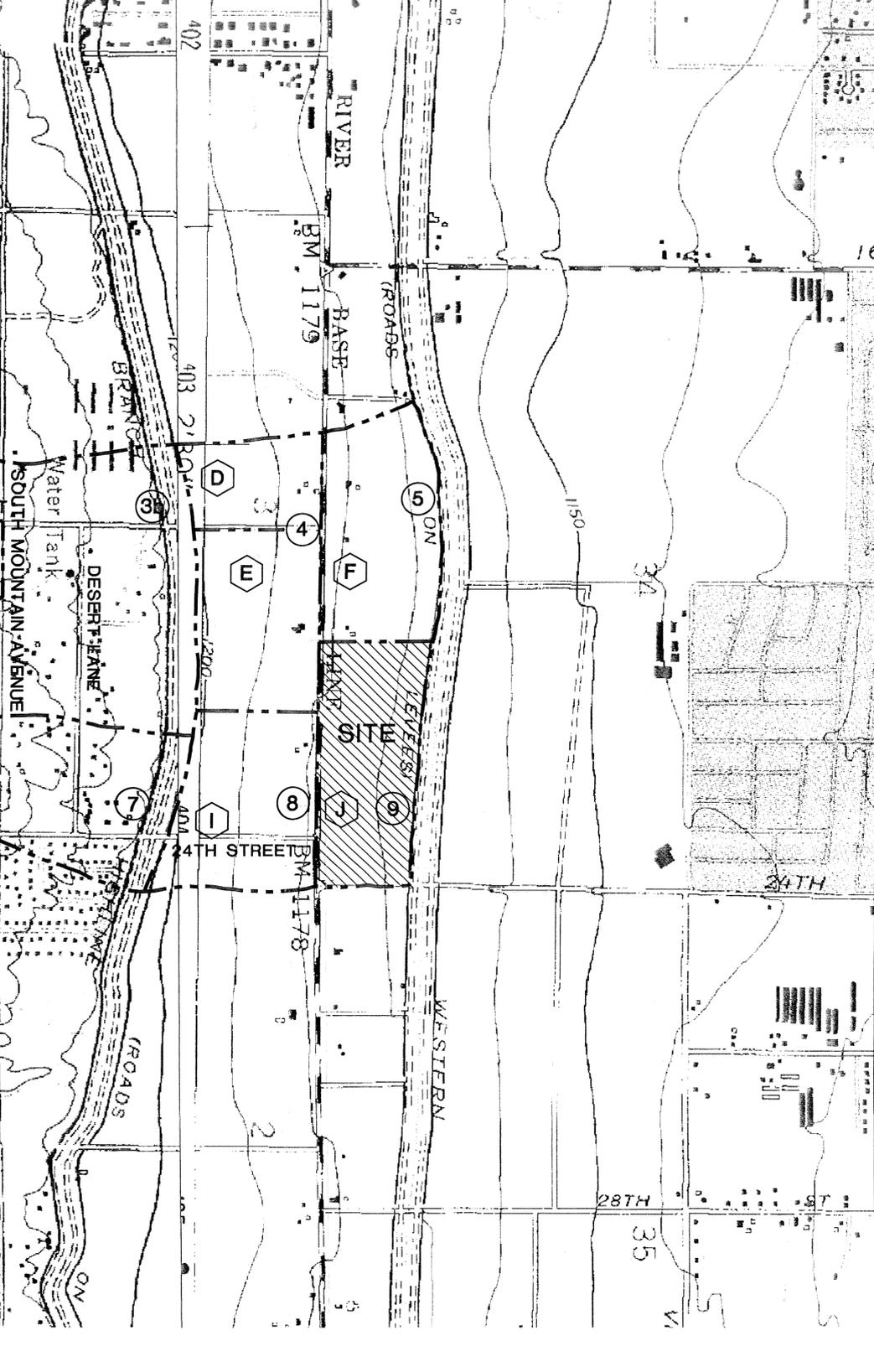
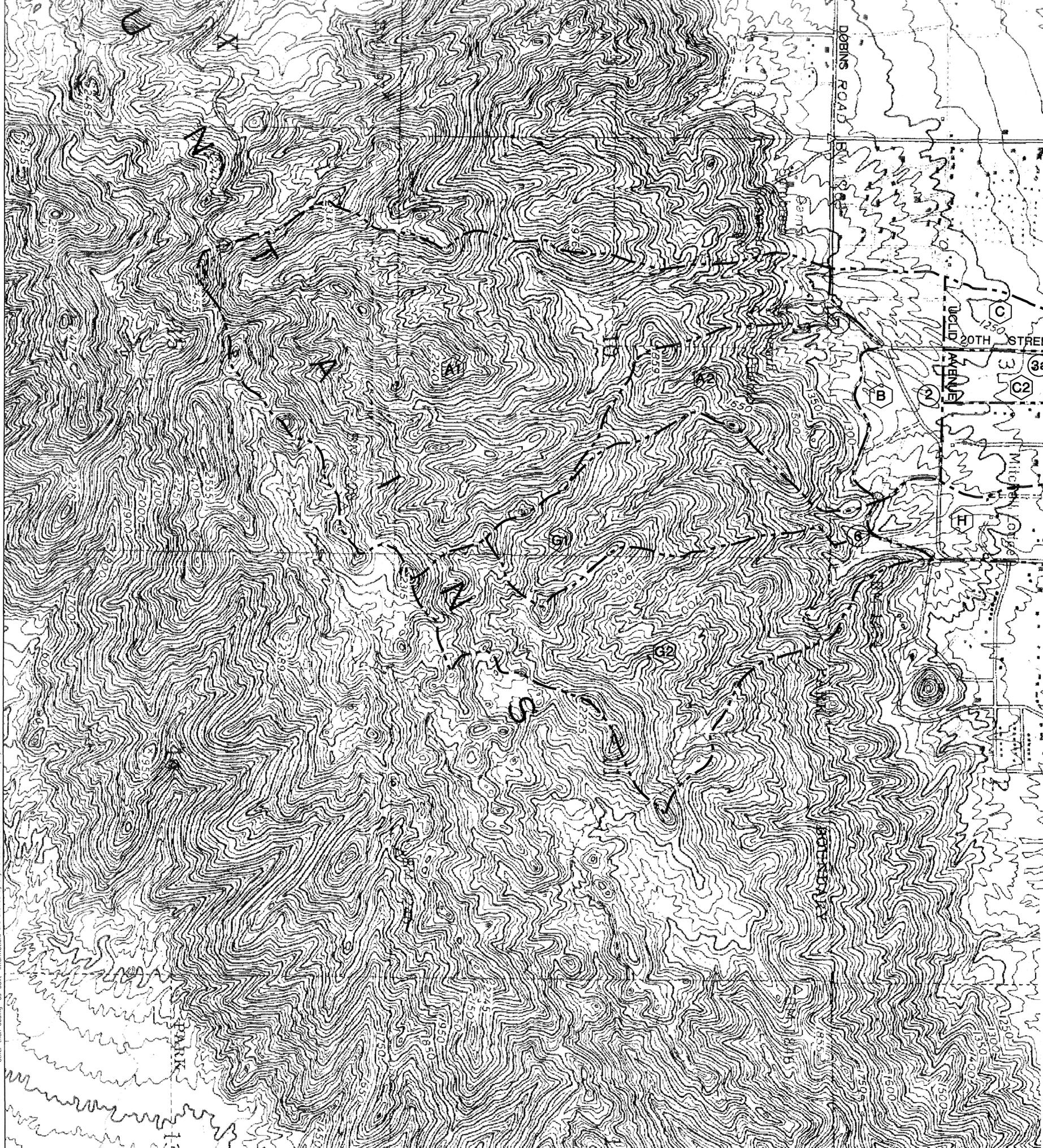
TASK											
Elevation	Test Area			Test Element							
FB – Bottom of Footing	1 Building Pad	7 Apron	13 Storm Sewer Trench	A Foundation Over-Ex Backfill	G Select Cap	M Pipe Line/Conduit Bedding					
FS – Finished Subgrade	2 Parking Lot	8 Curb/Gutter	14 Elec. Conduit Trench	B Subgrade Prep	H Underslab Base Course	N Pipe Line/Conduit Shading					
FG – Finished Grade	3 Driveway	9 Sidewalk	15 Irrigation Trench	C Engineered Fill	I Pavement Agg. Base Course	O Trench Backfill					
FP – Finished Pavement	4 Landscape Area	10 Water Line Trench	16 Other Trench	D Structural Backfill	J AC Pavement – Base Lift	P					
	5 Transformer Pad	11 Fire Line Trench	17	E Lime-Stabilized Subgrade	K AC Pavement – Intermed. Lift	Q					
	6 Roadway	12 Sanitary Sewer Trench	18	F Non/Low Expansion Cap	L AC Pavement – Surface Lift	R					

A – Approved

NA – Not Approved

\*Rock/Moisture Corrected Value

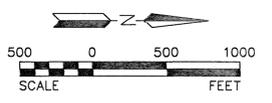
\*\*Sand Cone Method



**LEGEND**

- SUBAREA BOUNDARY
- G2 SUBAREA IDENTIFICATION
- ① CONCENTRATION POINT

NOTE:  
 TOPOGRAPH MAP U.S.G.S. QUADRANGLE 7.5 MINUTE SERIES. PHOENIX, ARIZONA & LONEBUTTE, ARIZONA ENLARGED TO 1"=500'



**LEGACY VILLAGE**  
 N.W.C. 24TH STREET & BASELINE ROAD  
 PHOENIX, ARIZONA

**EXHIBIT C**

	1515 E. MISSOURI STE. 115 PHOENIX, AZ 85014 PHONE: (602) 279-8436 FAX: (602) 265-1191	
	CMX PROJ. 6578	DATE: 11-19-02
DESIGNED: CMX	DRAWN: CMX	SCALE: 1"=500'
REV.	APPROVED: PG	DWG. NO.
		1
www.cmxc.com		SHT. 1 OF 1

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Paul Goss

---

From: Steven Tucker - FCDX [slt@mail.maricopa.gov]

Sent: Monday, April 14, 2003 3:10 PM

To: 'PGOSS@cmxinc.com'

Subject: Floodplain at 24th Street and Baseline

The subject floodplain is in the Hohokam ADMS study area. We do not have a study on file for this area, nor does anyone recall any hydrology reports done in this area. The floodplain was probably delineated by assuming the water level equal to the top of canal.

If you have further questions, please call me.

<<...OLE\_Obj...>>

Steven L. Tucker, P. E.

Flood Control District

Of Maricopa County

(602) 506-4872

4/18/03

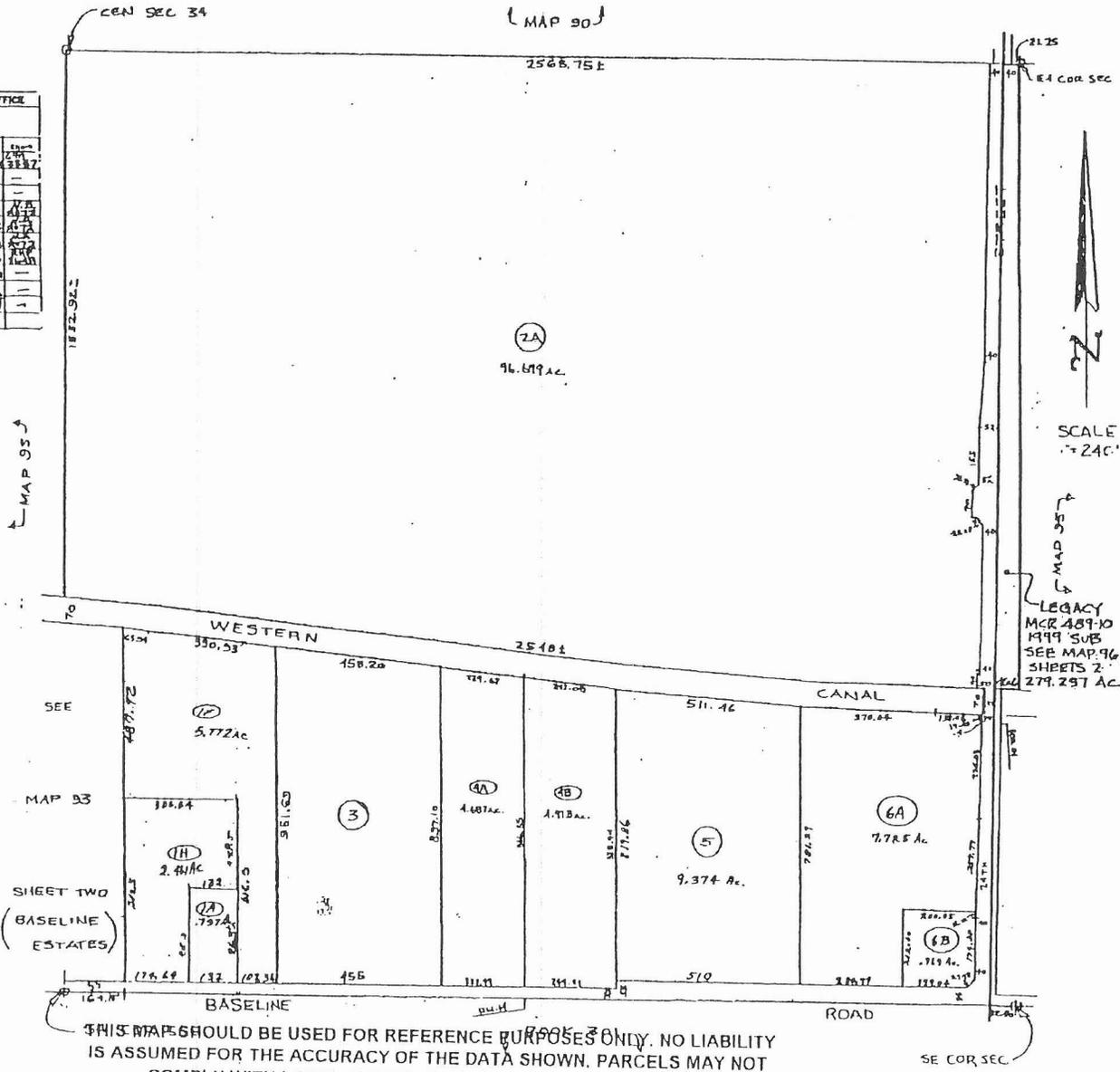


# Appendix E

SE 1/4 SECTION 34 T-1N R-3E

BOOK 122  
MAP 94  
SHEET 1

MARICOPA COUNTY ASSESSORS OFFICE					
SCALE 1" = 240'					
RESOLUTIONS					
Block	Tract	Acres	Block	Tract	Acres
118	1	11.8	118	1	11.8
118	5	11.8	118	5	11.8
118	2	11.8	118	2	11.8
118	4	11.8	118	4	11.8
118	10	11.8	118	10	11.8
118	1	11.8	118	1	11.8
118	12	11.8	118	12	11.8
118	2	11.8	118	2	11.8
118	6	11.8	118	6	11.8
118	2	11.8	118	2	11.8
118	12	11.8	118	12	11.8



LEGACY  
MCR 489-10  
1999 SUB  
SEE MAP 96  
SHEETS 2  
279.297 AC

## SCHEDULE B

88 230249

THIRD AMENDED  
Commitment No. 885090

## PART TWO:

- A. 1988 taxes, a lien not yet payable.
1. The liabilities and obligations imposed upon said land by reason of: (a) inclusion thereof within the boundaries of the Salt River Project Agricultural Improvement and Power District; (b) membership of the owner thereof in the Salt River Valley Water Users' Association, an Arizona corporation and (c) the terms of any Water Right Application made under the reclamation laws of the United States for the purpose of obtaining water rights for said land. (All assessments due and payable are paid.)
2. Reservations contained in the Patent from the United States of America, reading as follows:
- Subject to any vested and accrued water rights for mining, agricultural, manufacturing, or other purposes, and rights to ditches and reservoirs used in connection with such water rights as may be recognized and acknowledged by the local customs, laws and decisions of courts, and also subject to the right of the proprietor of a vein or lode to extract and remove his ore therefrom, should the same be found to penetrate or intersect the premises hereby granted, as provided by law.
3. Water rights, claims or title to water.
4. All matters as set forth in the Covenants, Conditions, and Restrictions in instrument recorded in Book 106 of Deeds, Page 483.
5. Any rights, interest or claims which may exist or arise by reason of the following facts shown on a survey plat entitled TESSIER PROPERTIES, Job No. 82401, dated April 26, 1988, prepared by CARTER ASSOCIATES, INC.:
- A. Dirt road  
B. The right-of-way of the Western Canal, as established therein.  
C. Buried telecom line; warning sign is posted on the South side of Baseline Road.
6. The rights of parties in possession by reason of any unrecorded lease or leases or month to month tenancies affecting any portion of the within described property.

NOTE: This matter will be more fully set forth or deleted upon compliance with Requirement No. 3 set forth herein.

EXHIBIT "A"

87 267138

Commitment No. 201-865651

That part of the South half of Section Thirty-four (34), Township One (1) North, Range Three (3) East of the Gila and Salt River Base and Meridian, described as follows:

BEGINNING at a point on the South line of the southeast quarter of said Section 34, which bears North 89 degrees 41 minutes 30 seconds East 1516.65 feet from the Southwest corner thereof; and running thence North 0 degrees 18 minutes 30 seconds West 874.86 feet to the South line of the Western Canal right of way; thence southeasterly 511.46 feet along said right of way line on a 0 degree 30 minute curve to the left, having a radius of 11489.19 feet; thence South 0 degrees 18 minutes 30 seconds East 836.40 feet to the South line of said Southeast quarter; thence South 89 degrees 41 minutes 30 seconds West 510.00 feet along said South line of said Southeast quarter of the place of beginning;

EXCEPT the South 55 feet; and

EXCEPT any part thereof lying within the right of way of the Western Canal;

TOGETHER WITH all of Grantor's rights to easements for irrigation purposes, as set forth in Deeds recorded May 1, 1979, in Docket 13603, Page 1155, and in Docket 13603, Page 1167, and in docket 13603, page 1176 records of Maricopa County, Arizona.

STATE OF ARIZONA }  
County of Maricopa } ss.

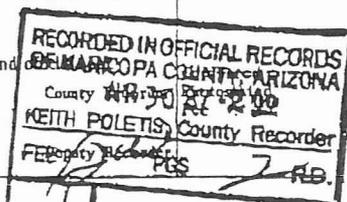
I hereby certify that the within instrument was filed and recorded  
In DOCKET page and indexed in deeds.

Fee No.

at the request of First American Title

when recorded, mail to  
TPI LAND DEVELOPMENT III LIMITED PARTNERSHIP  
c/o TESSIER PROPERTIES, INC.  
5110 N. 44th St., Suite 120-L  
Phoenix, Arizona 85018

Witness my hand and  
By



Order No. 201-02-865651

*2/2*

WARRANTY DEED

87 267133

For the consideration of Ten and NO/100 Dollars, and other valuable considerations, I or we,

E. A. DeKEIZER-VISSER, wife of D. A. DeKEIZER, dealing with her sole and separate property

the GRANTORS

do hereby convey to TPI LAND DEVELOPMENT III LIMITED PARTNERSHIP, an Arizona limited partnership

the GRANTERS

the following described real property situate in Maricopa County, Arizona

SEE ATTACHED EXHIBIT "A" FOR THE LEGAL DESCRIPTION

SUBJECT TO: Existing taxes, assessments, liens, encumbrances, covenants, conditions, restrictions, rights of way and easements of record.

I, the Grantor, do warrant the title against all persons whomsoever, subject to the matters above set forth.

dated this 22nd day of April, 1987

*E. A. DeKeizer-Visser*  
By: *Richard G. Neuheisel*  
E. A. DeKeizer-Visser by Richard G. Neuheisel, Attorney in Fact

STATE OF ARIZONA }  
County of Maricopa } ss.

This instrument was acknowledged before me this  
22nd day of April, 1987, by  
Richard G. Neuheisel, Attorney in Fact for E. A. DeKeizer-Visser



*Richard G. Neuheisel*  
Notary Public

My commission expires: 9/13/89

STATE OF ARIZONA }  
County of } ss.

This instrument was acknowledged before me this  
day of by

Notary Public

My commission expires:

FATCO 8031 (Rev. 8/78)

## EXHIBIT "A"

87 267138

Commitment No. 201-865651

That part of the South half of Section Thirty-four (34), Township One (1) North, Range Three (3) East of the Gila and Salt River Base and Meridian, described as follows:

BEGINNING at a point on the South line of the Southeast quarter of said Section 34, which bears North 89 degrees 41 minutes 30 seconds East 1516.63 feet from the Southwest corner thereof; and running thence North 0 degrees 18 minutes 30 seconds West 874.86 feet to the South line of the Western Canal right of way; thence southeasterly 511.46 feet along said right of way line on a 0 degree 30 minute curve to the left, having a radius of 11489.19 feet; thence South 0 degrees 18 minutes 30 seconds East 836.40 feet to the South line of said Southeast quarter; thence South 89 degrees 41 minutes 30 seconds West 510.00 feet along said South line of said Southeast quarter of the place of beginning;

EXCEPT the South 55 feet; and

EXCEPT any part thereof lying within the right of way of the Western Canal;

TOGETHER WITH all of Grantor's rights to easements for irrigation purposes, as set forth in Deeds recorded May 1, 1979, in Docket 13603, Page 1155, and in Docket 13603, Page 1167, and in docket 13603, page 1176 records of Maricopa County, Arizona.

Recorded at the request of  
Old Republic Title Agency  
When recorded, mail to:



OFFICIAL RECORDS OF  
MARICOPA COUNTY RECORDER  
HELEN PURCELL

96-0876912 12/17/96 04:48

TPI Land Dev.  
c/o Carmichael & Powell  
Don Powell  
7301 N. 16th St #103  
Phoenix, AZ 85020

Order No. 51 012084-ES

QUITCLAIM DEED

For valuable consideration, receipt of which is hereby acknowledged, OLD REPUBLIC TITLE INSURANCE AGENCY, INC., an Arizona corporation

do hereby quitclaim to TPI LAND DEVELOPMENT III LIMITED PARTNERSHIP, an Arizona limited partnership

the following real property situated in MARICOPA County, Arizona:  
\* \* \* See "Exhibit A" attached hereto and made a part hereof. \* \* \*

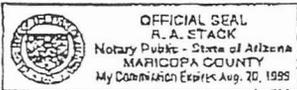
EXCISE  
35

Dated: December 6, 1996  
OLD REPUBLIC TITLE INSURANCE AGENCY, INC.,  
an Arizona corporation

*Gail Johnson*  
Gail Johnson, Vice President

STATE OF ARIZONA } ss.  
County of Maricopa

This instrument was acknowledged before me  
this 13th day of December, 1996 by  
Gail Johnson as Vice President of OLD REPUBLIC  
TITLE INSURANCE AGENCY, INC., an Arizona corporation



*R.A. Stack*  
Notary Public  
My commission will expire:

STATE OF } ss.  
County of

This instrument was acknowledged before me  
this \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_ by

Notary Public  
My commission will expire:

FTCS-670 4/93



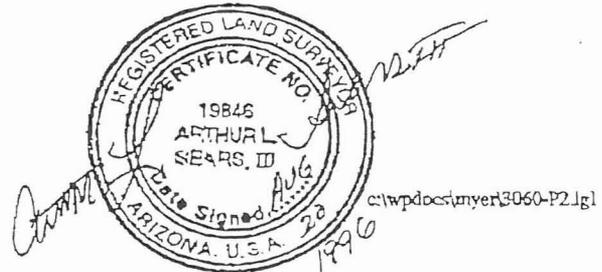
# Hook Engineering, Inc.

LEGAL DESCRIPTION  
OF  
PARCEL 2 - NET REMAINDER PARCEL

BEING A PORTION OF THE SOUTHEAST QUARTER OF SECTION 34, T. 1 N., R. 3 E., G. & S. R. B. & M., MARICOPA COUNTY, ARIZONA AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 34, THENCE S. 89°41'30" W., ALONG, ADJOINING AND ADJACENT TO THE SOUTH LINE OF SAID SOUTHEAST QUARTER OF SECTION 34, A DISTANCE OF 322.63 FEET; THENCE DEPARTING SAID SOUTH LINE, N. 00°47'52" E., 55.01 FEET TO A POINT ON THE EXISTING NORTHERLY RIGHT-OF-WAY LINE FOR BASELINE ROAD, SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE S. 89°41'30" W., ALONG, ADJOINING AND ADJACENT TO SAID EXISTING NORTHERLY RIGHT-OF-WAY LINE FOR BASELINE ROAD, A DISTANCE OF 280.97 FEET; THENCE DEPARTING PERPENDICULAR TO SAID EXISTING NORTHERLY RIGHT-OF-WAY LINE FOR BASELINE ROAD, N. 00°18'30" W., 781.39 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE FOR THE WESTERN CANAL, SAID RIGHT-OF-WAY LINE BEING A CURVE CONCAVED NORTHERLY AND HAVING A RADIUS POINT BEARING N. 02°43'43" E., 11,489.19 FEET; THENCE EASTERLY ALONG, ADJOINING AND ADJACENT TO SAID CURVED SOUTHERLY RIGHT-OF-WAY LINE THROUGH A CENTRAL ANGLE OF 01°50'43" AN ARC LENGTH OF 370.04 FEET; THENCE S. 89°07'00" E., 133.04 FEET TO A POINT ON THE EXISTING WESTERLY RIGHT-OF-WAY LINE FOR 24TH STREET; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY LINE FOR THE WESTERN CANAL, S. 00°47'52" W., ALONG, ADJOINING AND ADJACENT TO THE SAID WESTERLY RIGHT-OF-WAY LINE FOR 24TH STREET, A DISTANCE OF 19.43 FEET; THENCE N. 89°12'08" W., ALONG A RADIAL LINE, 0.40 FEET TO THE BEGINNING OF A CURVE CONCAVED WESTERLY AND HAVING A RADIUS POINT BEARING N. 89°12'08" W., 11,417.18 FEET; THENCE SOUTHERLY ALONG, ADJOINING AND ADJACENT TO SAID CURVE THROUGH A CENTRAL ANGLE OF 01°22'31" AN ARC LENGTH OF 274.03 FEET TO A POINT OF REVERSE CURVATURE FOR A CURVE CONCAVED EASTERLY AND HAVING A RADIUS POINT BEARING S. 87°49'37" E., 11,497.18 FEET; THENCE SOUTHERLY ALONG, ADJOINING AND ADJACENT TO SAID CURVE THROUGH A CENTRAL ANGLE OF 01°17'40" AN ARC LENGTH OF 259.73 FEET; THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY LINE FOR 24TH STREET, S. 89°41'30" W., 200.05 FEET; THENCE S. 00°47'52" W., 212.10 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 336,500 SQUARE FEET OR 7.7250 ACRES NET MORE OR LESS.



3511 East Indian School Road • Phoenix, Arizona 85018  
[602] 956-3200 • FAX [602] 955-5443

Description: Maricopa, AZ Post-82 Document-Year.DocID 1996.876912 Page: 2 of 2

Order: lb Comment:

ALB  
6 pt

Recorded at the request of:  
Old Republic Title Agency  
When recorded, mail to:  
DIAMOND SHAMROCK  
P.O. Box 696000  
San Antonio, TX  
78269



OFFICIAL RECORDS OF  
MARICOPA COUNTY RECORDER  
HELEN PURCELL  
96-0876913 12/17/96 04:48

Order No. 51 012084-BS **QUITCLAIM DEED**

For valuable consideration, receipt of which is hereby acknowledged, OLD REPUBLIC TITLE INSURANCE AGENCY, INC., an Arizona corporation

do hereby quitclaim to TPI LAND DEVELOPMENT III LIMITED PARTNERSHIP, an Arizona limited partnership

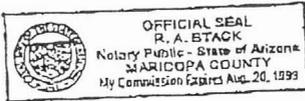
the following real property situated in MARICOPA County, Arizona:  
\* \* \* See "Exhibit A" attached hereto and made a part hereof. \* \* \*

EXHIBIT  
B-5

Dated: December 6, 1996  
OLD REPUBLIC TITLE INSURANCE AGENCY, INC.,  
an Arizona corporation  
*Gail Johnson*  
Gail Johnson, Vice President

STATE OF ARIZONA }  
County of Maricopa } ss.

This instrument was acknowledged before me  
this 13th day of December, 19 96 by  
Gail Johnson as Vice President of OLD REPUBLIC  
TITLE INSURANCE AGENCY, INC., an Arizona corp



*R.A. Stack*  
Notary Public  
My commission will expire:

STATE OF }  
County of } ss.

This instrument was acknowledged before me  
this \_\_\_\_\_ day of \_\_\_\_\_, 19 \_\_\_\_\_ by

Notary Public  
My commission will expire:

FIGC - 870 AFD



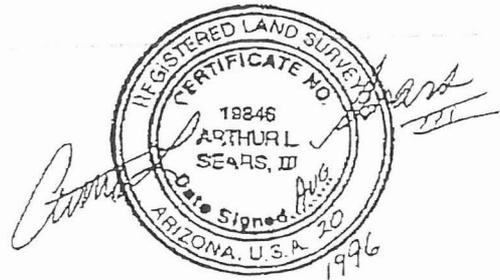
# Hook Engineering, Inc.

LEGAL DESCRIPTION  
OF  
PARCEL 1 - DIAMOND SHAMROCK PARCEL

BEING A PORTION OF THE SOUTHEAST QUARTER OF SECTION 34, T. 1 N., R. 3 E., G. & S. R. B. & M., MARICOPA COUNTY, ARIZONA AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 34, THENCE S. 89°41'30" W., ALONG, ADJOINING AND ADJACENT TO THE SOUTH LINE OF SAID SOUTHEAST QUARTER OF SECTION 34, A DISTANCE OF 322.63 FEET; THENCE DEPARTING SAID SOUTH LINE, N. 00°47'52" E., 55.01 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE FOR BASELINE ROAD, SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE CONTINUING N. 00°47'52" E., 212.10 FEET; THENCE N. 89°41'30" E., 200.05 FEET TO A POINT ON THE EXISTING WESTERLY RIGHT-OF-WAY LINE FOR 24TH STREET, SAID POINT ALSO LYING ON A CURVE CONCAVED EASTERLY AND HAVING A RADIUS POINT BEARING S. 89°07'17" E., 11,497.18 FEET; THENCE SOUTHERLY ALONG, ADJOINING AND ADJACENT TO SAID CURVED RIGHT-OF-WAY LINE THROUGH A CENTRAL ANGLE OF 00°04'51" AN ARC LENGTH OF 16.22 FEET; THENCE S. 00°47'52" W., ALONG, ADJOINING AND ADJACENT TO SAID RIGHT-OF-WAY LINE A DISTANCE OF 174.88 FEET; THENCE S. 45°14'41" W., ALONG, ADJOINING AND ADJACENT TO A LINE THAT ADJOINS THE EXISTING WESTERLY RIGHT-OF-WAY LINE FOR 24TH STREET WITH THE NORTHERLY RIGHT-OF-WAY LINE FOR BASELINE ROAD, A DISTANCE OF 29.98 FEET; THENCE S. 89°41'30" W., ALONG, ADJOINING AND ADJACENT TO SAID NORTHERLY RIGHT-OF-WAY LINE FOR BASELINE ROAD, A DISTANCE OF 179.04 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 42,201 SQUARE FEET OR 0.9688 ACRES NET MORE OR LESS.



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3511 East Indian School Road • Phoenix, Arizona 85018  
(602) 956-3200 • FAX (602) 955-5443



**City of Phoenix**  
STREET TRANSPORTATION DEPARTMENT

December 11, 2003

FEMA  
LOMA Depot  
3601 Eisenhower Avenue, #600  
Alexandria, VA. 22304-6439

IN REPLY TO  
CASE NO. 03-09-1411C  
COMMUNITY: CITY OF PHOENIX, AZ.  
COMMUNITY NO. 040051

Gentlemen:

RE: LOTS 4 & 5 LEGACY VILLAGE, NWC 24<sup>TH</sup> STREET & BASELINE ROAD, PHOENIX,  
ARIZONA, FIRM PANEL NO. 04013C2145G DATED JULY 19, 2001.

Submitted are the following documents for a Letter of Map Revision Based on Fill (LOMR-F) for the above listed project.

ITEMS:

1. LOMR-F Application Forms
2. Check for \$800.
3. Flood Insurance Rate Map
4. Final Grading Plans
5. Building Pad Certifications
6. HEC-1 CD (BFE Hydrology)
7. Exhibit C (HEC-1 Hydrology Exhibit)
8. Maricopa County Flood Control District Memorandum (BFE Hydraulics)
9. Assessor Map
10. Property Deeds
11. Final Plat

If you have any technical questions concerning this project please contact Mr. Paul L. Goss, EIT, CMX, L.L.C., 1515 East Missouri Avenue, Suite 115, Phoenix, Arizona 85014, phone number 602-279-8436, fax number 602-567-1901. For other questions, please contact this office at 602-262-4960.

Sincerely,

Hasan Mushtaq, Ph.D., P.E., CFM  
Floodplain Manager

HM/aff/legacy village clomr-f.doc

Attachments

c: Mr. Goss



# Federal Emergency Management Agency

Washington, D.C. 20472

November 7, 2003

STREET TRANSPORTATION  
2003 NOV 13 AM 10:03

THE HONORABLE SKIP RIMSZA  
MAYOR, CITY OF PHOENIX  
200 W WASHINGTON STREET 11TH FLOOR  
PHOENIX, AZ 85003-1611

CASE NO.: 03-09-1411C  
COMMUNITY: CITY OF PHOENIX, MARICOPA COUNTY,  
ARIZONA  
COMMUNITY NO.: 040051

DEAR MAYOR RIMSZA:

This is in reference to a request that the Federal Emergency Management Agency (FEMA) determine if the property described in the enclosed document is located within an identified Special Flood Hazard Area, the area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood), on the effective National Flood Insurance Program (NFIP) map. Using the information submitted and the effective NFIP map, our determination is shown on the attached Conditional Letter of Map Revision based on Fill (CLOMR-F) Comment Document. This comment document provides additional information regarding the effective NFIP map, the legal description of the property and our comments regarding this proposed project.

Additional documents are enclosed which provide information regarding the subject property and CLOMR-Fs. Please see the List of Enclosures below to determine which documents are enclosed. Other attachments specific to this request may be included as referenced in the Determination/Comment document. If you have any questions about this letter or any of the enclosures, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, 3601 Eisenhower Avenue, Suite 600, Alexandria, VA 22304-6439.

Sincerely,

Doug Bellomo, P.E., CFM, Acting Chief  
Hazard Identification Section, Mitigation Division  
Emergency Preparedness and Response Directorate

**LIST OF ENCLOSURES:**

CLOMR-F COMMENT DOCUMENT

cc: Mr. Hasan Mushtaq



# Federal Emergency Management Agency

Washington, D.C. 20472

## CONDITIONAL LETTER OF MAP REVISION BASED ON FILL COMMENT DOCUMENT

COMMUNITY AND MAP PANEL INFORMATION		LEGAL PROPERTY DESCRIPTION
COMMUNITY	CITY OF PHOENIX, MARICOPA COUNTY, ARIZONA	Proposed Lots 4 and 5, Legacy Village
	COMMUNITY NO.: 040051	
AFFECTED MAP PANEL	NUMBER: 04013C2145G	
	NAME: MARICOPA COUNTY, ARIZONA AND INCORPORATED AREAS	
	DATE: 07/19/2001	
FLOODING SOURCE: PONDING		

**COMMENT TABLE REGARDING THE PROPOSED PROPERTY (PLEASE NOTE THAT THIS IS NOT A FINAL DETERMINATION. A FINAL DETERMINATION WILL BE MADE UPON RECEIPT OF AS-BUILT INFORMATION REGARDING THIS PROPERTY.)**

LOT	BLOCK/ SECTION	SUBDIVISION	STREET	OUTCOME WHAT WOULD BE REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NGVD 29)	LOWEST ADJACENT GRADE ELEVATION (NGVD 29)	LOWEST LOT ELEVATION (NGVD 29)
4	—	Legacy Village	—	Structure	X (shaded)	1172.1 feet	1172.6 feet	—

**Special Flood Hazard Area (SFHA)** - The SFHA is an area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood).

ADDITIONAL CONSIDERATIONS (Please refer to the appropriate section on Attachment 1 for the additional considerations listed below.)

DETERMINATION TABLE (CONTINUED)      ZONE A  
PORTIONS REMAIN IN THE SFHA  
CONDITIONAL LOMR-F DETERMINATION

This document provides the Federal Emergency Management Agency's comment regarding a request for a Conditional Letter of Map Revision based on Fill for the property described above. Using the information submitted and the effective National Flood Insurance Program (NFIP) map, we have determined that the proposed structure(s) on the property(ies) would not be located in the SFHA, an area inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood) if built as proposed. Our final determination will be made upon receipt of a copy of this document, as-built elevations, and a completed Community Acknowledgement form. Proper completion of this form certifies the subject property is reasonably safe from flooding in accordance with Part 65.5(a)(4) of our regulations. Further guidance on determining if the subject property is reasonably safe from flooding may be found in FEMA Technical Bulletin 10-01. A copy of this bulletin can be obtained by calling the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or from our web site at <http://www.fema.gov/mit/tb1001.pdf>. This document is not a final determination; it only provides our comment on the proposed project in relation to the SFHA shown on the effective NFIP map.

This comment document is based on the flood data presently available. The enclosed documents provide additional information regarding this request. If you have any questions about this document, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, 3601 Eisenhower Avenue, Suite 600, Alexandria, VA 22304-6439.

Doug Bellomo, P.E., CFM, Acting Chief  
Hazard Identification Section, Mitigation Division  
Emergency Preparedness and Response Directorate

Version 1.3.3

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# Federal Emergency Management Agency

Washington, D.C. 20472

## CONDITIONAL LETTER OF MAP REVISION BASED ON FILL COMMENT DOCUMENT

### ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

#### DETERMINATION TABLE (CONTINUED)

LOT	BLOCK/ SECTION	SUBDIVISION	STREET	OUTCOME WHAT WOULD BE REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NGVD 29)	LOWEST ADJACENT GRADE ELEVATION (NGVD 29)	LOWEST LOT ELEVATION (NGVD 29)
5	—	Legacy Village	—	Structure	X (shaded)	1172.1 feet	1172.6 feet	—

#### **PORTIONS OF THE PROPERTY REMAIN IN THE SFHA (This Additional Consideration applies to the preceding 2 Properties.)**

Portions of this property, but not the subject of the Determination/Comment document, may remain in the Special Flood Hazard Area. Therefore, any future construction or substantial improvement on the property remains subject to Federal, State/Commonwealth, and local regulations for floodplain management.

#### **CONDITIONAL LOMR-F DETERMINATION (This Additional Consideration applies to the preceding 2 Properties.)**

Comments regarding this conditional request are based on the flood data presently available. Our final determination will be made upon receipt of this Comment Document, certified as-built elevations and/or certified as-built survey. Since this request is for a Conditional Letter of Map Revision based on Fill, we will also require the applicable processing fee, and the "Community Acknowledgement" form. Please note that additional items may be required before a final as-built determination is issued.

This letter does not relieve Federal agencies of the need to comply with Executive Order 11988 on Floodplain Management in carrying out their responsibilities and providing Federally undertaken, financed, or assisted construction and improvements, or in their regulating or licensing activities.

#### **ZONE A (This Additional Consideration applies to the preceding 2 Properties.)**

The National Flood Insurance Program map affecting this property depicts a Special Flood Hazard Area that was determined using the best flood hazard data available to FEMA, but without performing a detailed engineering analysis. The flood elevation used to make this determination is based on approximate methods and has not been formalized through the standard process for establishing base flood elevations published in the Flood Insurance Study. This flood elevation is subject to change.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, 3601 Eisenhower Avenue, Suite 600, Alexandria, VA 22304-6439.

Doug Bellomo, P.E., CFM, Acting Chief  
Hazard Identification Section, Mitigation Division  
Emergency Preparedness and Response Directorate